

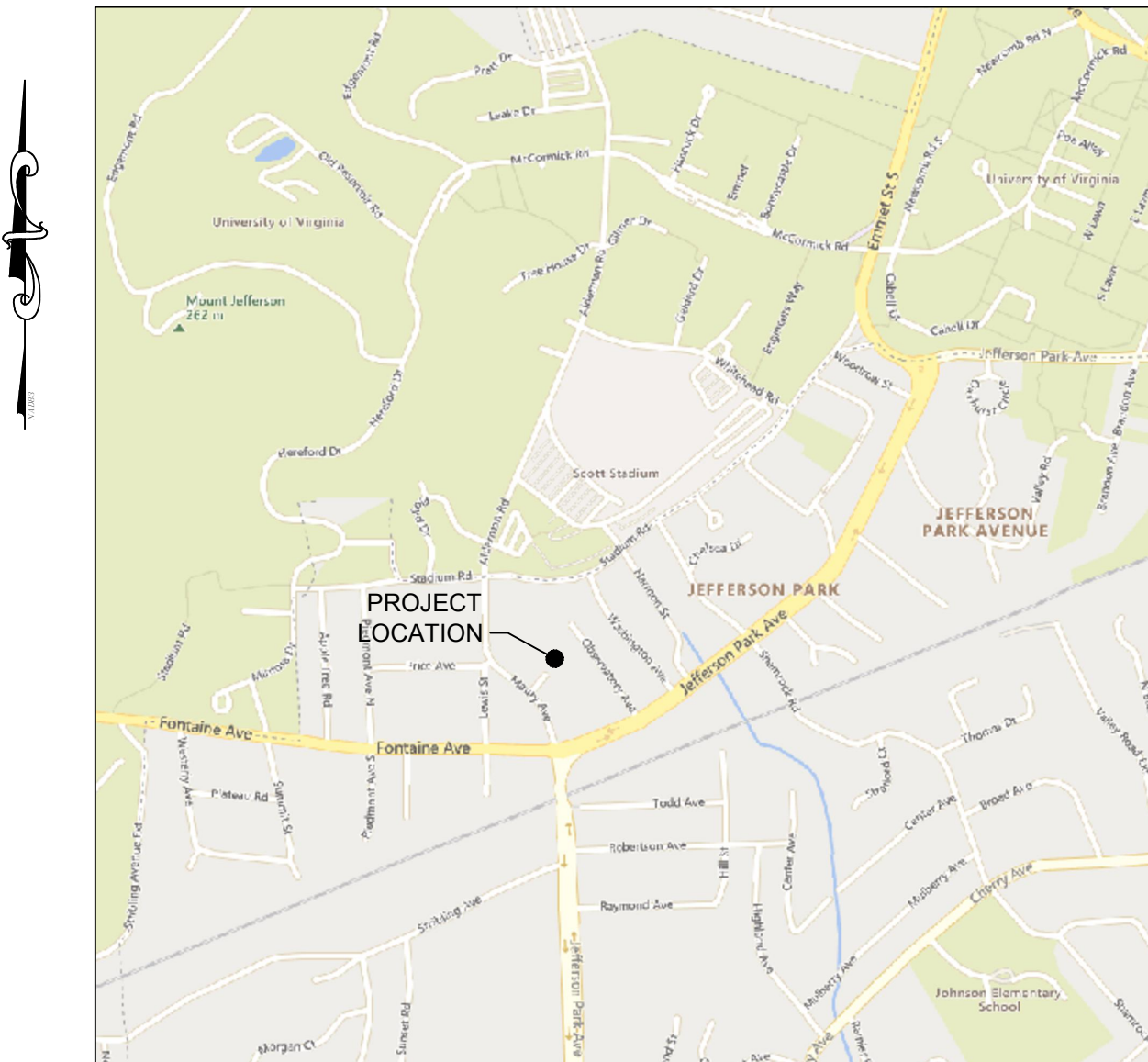
108 CLARKE COURT SITE IMPROVEMENTS

PRELIMINARY SITE PLAN

108 CLARKE COURT
CITY OF CHARLOTTESVILLE, VIRGINIA
07/24/2023

SITE DATA:	
TAX MAP PARCEL AND OWNER INFO:	170091000 JEFFERSON SCHOLARS FOUNDATION 112 CLARKE CT CHARLOTTESVILLE, VA 22903
TOTAL SITE AREA:	25,962 SQ. FT. (0.596 AC)
LIMITS OF DISTURBANCE:	16,115 SQ. FT.
EXISTING IMPERVIOUS AREA:	9,546 SQ. FT. (0.22 AC)
PROPOSED IMPERVIOUS AREA:	12,373 SQ. FT. (0.28 AC)
SOURCE OF SURVEY, BOUNDARY, AND TOPOGRAPHY:	TIMMONS GROUP 2815 N. AUGUSTA ST, SUITE C STAUNTON, VA 24401 JOE MEDLEY, L.S. (540) 885-0920 CONDUCTED: 07/11/2016 FIELD VERIFIED: 05/03/2023
HORIZONTAL DATUM REFERENCE:	NAD83
VERTICAL DATUM REFERENCE:	NAVD88
MISS UTILITY TICKET NUMBER:	B311802039-00B; B311802045-00B; B311802056-00B; B311802063-00B
CURRENT USE:	RESIDENTIAL APARTMENT COMPLEX
PROPOSED USE:	SAME AS CURRENT
RECREATION AREA:	NONE
ZONING:	R-3
OVERLAY DISTRICT:	NONE
SETBACKS:	FRONT: 25 FT MIN. SIDE (ADJACENT TO RESIDENTIAL): 1' OF SIDE YARD PER EVERY 2' OF BUILDING HEIGHT (MIN. 10'); 5' FOR CORNER LOT ADJACENT TO RESIDENTIAL REAR (ADJACENT TO RESIDENTIAL): 25' MIN.
ADJACENT PROPERTIES:	NORTH - RESIDENTIAL URBAN (R-2U) EAST - RESIDENTIAL URBAN (R-3) SOUTH - MULTI-FAMILY (R-3) WEST - COMMERCIAL & INDUSTRIAL (R-3)
MAXIMUM BUILDING HEIGHT:	45 FT
PARKING REQUIRED:	N/A
PARKING PROVIDED:	8 SPACES
ADA PARKING:	1 SPACE

- PUBLIC UTILITY NOTES:
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.
 - THIS SITE PLAN APPROVAL SHOULD NOT BE CONSTRUCTED OR INTERPRETED AS THE CITY'S VERIFICATION THAT THE SITE PLAN COMPLIES WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.



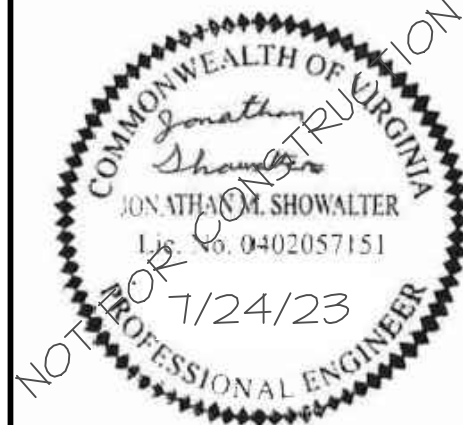
VICINITY MAP

SCALE: 1" = 2,000'

OWNER:
JEFFERSON SCHOLARS FOUNDATION
112 CLARKE COURT
CHARLOTTESVILLE, VA 22903
CONTACT: JAY KESSLER
TELEPHONE: (434) 962-0044

ENGINEER OF RECORD:
TIMMONS GROUP
608 PRESTON AVENUE SUITE 200
CHARLOTTESVILLE, VA 22903
CONTACT: JONATHAN SHOWALTER, P.E.
TELEPHONE: (434) 327-1681

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C2.1	DEMOLITION PLAN
C3.0	EROSION & SEDIMENT CONTROL NOTES AND DETAILS
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C6.0	STORMWATER MANAGEMENT PLAN
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C6.2	INLET DRAINAGE AREA MAP
TOTAL SHEETS = 13	



THIS DRAWING PREPARED AT THE
CHARLOTTESVILLE OFFICE
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REVISION DESCRIPTION

DATE

DATE
07/24/2023

DRAWN BY
M.AKMAL

DESIGNED BY
J.SHOWALTER

CHECKED BY
J.SHOWALTER

SCALE
N/A

TIMMONS GROUP

CLARKE COURT PRELIMINARY SITE PLAN
CITY OF CHARLOTTESVILLE - VIRGINIA

COVER

JOB NO.
58925

SHEET NO.
C0.0

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APPROVALS

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

GENERAL NOTES:

UTILITIES

- ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
- THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OR THE NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TIMELY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. ANY COST INCURRED FOR REMOVING, RELOCATING OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND /OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
- WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT IDENTICAL TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
- CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
- ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THE ADJUSTMENT OF ALL MANHOLE TOPS, WATER VALVE BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
- ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE COORDINATED OR PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF CHARLOTTESVILLE DEPARTMENT OF UTILITIES REQUIREMENTS.

EROSION CONTROL & WORK AREA PROTECTION AND MAINTENANCE

- ALL FENCES REQUIRED TO BE REMOVED OR DISTURBED BY CONSTRUCTION SHALL BE SALVAGED, STORED, PROTECTED AND RE-INSTALLED BY CONTRACTOR. IF SUCH FENCE MATERIAL CANNOT BE REUSED DUE TO DAMAGE CAUSED BY CONTRACTOR SHALL INSTALL NEW FENCE OF THE SAME TYPE OF MATERIAL. TEMPORARY FENCING REQUIRED BY PRIVATE PROPERTY OWNERS SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR IS ADVISED TO CONTACT PROPERTY OWNERS AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF REMOVING ANY FENCE IN ORDER TO COORDINATE RELOCATION AND TO ESTABLISH AND CONFIRM WITH THE OWNER THE PRE-CONSTRUCTION CONDITION OF ANY FENCE TO BE REMOVED, DISTURBED OR REPLACED.
- CONTRACTOR IS PERMITTED TO WORK IN THE PUBLIC RIGHT-OF-WAY AND ANY TEMPORARY OR PERMANENT EASEMENT SHOWN ON THE PLANS. HOWEVER, CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) FORTY-EIGHT (48) HOURS PRIOR TO WORKING ON ANY PRIVATE PROPERTY TO COORDINATE ACCESS AND TO DETERMINE A STORAGE AREA FOR MATERIALS IF NEEDED. COORDINATION OF ACCESS TO PUBLIC RIGHT-OF-WAY AND STORAGE OF MATERIALS THEREON SHALL BE COORDINATED WITH THE ENGINEER. CONTRACTOR'S FAILURE TO SO NOTIFY AND COORDINATE WITH PROPERTY OWNERS AND/OR THE ENGINEER MAY RESULT IN DELAYS. NO ADDITIONAL COMPENSATION OR TIME FOR PERFORMANCE WILL BE GIVEN FOR ANY SUCH DELAYS.
- CONTRACTOR SHALL, AT HIS EXPENSE, MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES. ALL DEBRIS AND SURPLUS MATERIAL COLLECTED SHALL BE DISPOSED OF OFF THE WORK SITE BY CONTRACTOR, AT HIS EXPENSE.
- EXISTING LAWNS, TREES, SHRUBS, FENCES, UTILITIES, CULVERTS, WALLS, WALKS, DRIVEWAYS, POLES, SIGNS, RIGHT-OF-WAY MONUMENTS, MAILBOXES AND THE LIKE SHALL BE PROTECTED FROM DAMAGE DURING THE WORK. ANY DAMAGE CAUSED TO SUCH ITEMS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST. PROPERTY PINS DISTURBED BY CONTRACTOR THAT ARE NOT SHOWN ON THE PLANS TO BE DISTURBED SHALL BE RESTORED BY A LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL EMPLOY EROSION CONTROL DEVICES AND METHODS AS REQUIRED TO MEET THE REQUIREMENTS AND INTENT OF THE CITY EROSION CONTROL ORDINANCE. CONTRACTOR SHALL PROVIDE THE NECESSARY DIVERSION DITCHES, DIKES OR TEMPORARY CULVERTS REQUIRED TO PREVENT MUD AND DEBRIS FROM BEING WASHED ONTO THE STREETS OR PROPERTY. CONTRACTOR'S VEHICLES SHALL BE KEPT CLEAN TO PREVENT MUD OR DUST FROM BEING DEPOSITED ON STREETS. NO AREA SHALL BE LEFT DENUDED FOR MORE THAN SEVEN (7) CALENDAR DAYS.
- CONTRACTOR SHALL CLEAN UP, RESTORE, PERMANENTLY SEED AND MAINTAIN ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK ON EACH SITE. TOPSOIL, SEED, FERTILIZER AND MULCH SHALL BE PLACED IN ACCORDANCE WITH CITY STANDARDS ON ALL DISTURBED AREAS. A PERMANENT STAND OF GRASS ADEQUATE TO PREVENT EROSION SHALL BE ESTABLISHED PRIOR TO FINAL ACCEPTANCE.
- AS DETERMINED BY THE ENGINEER, ANY DEFECTIVE, FAULTY, CRACKED, BROKEN OR GRAFFITIED SIDEWALKS, DRIVEWAYS, HANDICAP RAMPS OR CURB & GUTTER SHALL BE REMOVED AND REPLACED PRIOR TO FINAL ACCEPTANCE. NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADHERE TO REQUESTS FROM THE CITY'S E&S INSPECTOR TO ADD OR MODIFY E&S MEASURES DURING CONSTRUCTION.

EARTHWORK AND SITE CONDITIONS

- EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL MATCH EXISTING SLOPES OR BE NO GREATER THAN 2:1.
- NO NEW SIDEWALK SHALL EXCEED 2.0% CROSS-SLOPE (PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC).
- ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL CONFORM TO THE CITY OF CHARLOTTESVILLE ENGINEERING DIVISION STANDARDS AND ALL OTHER APPLICABLE CITY ORDINANCES.
- ANY UNUSUAL OR UNANTICIPATED SUBSURFACE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO BEGINNING WORK, AND IMMEDIATELY NOTIFY THE ENGINEER IN THE EVENT THERE ARE ANY DISCREPANCIES BETWEEN SUCH CONDITIONS AND THOSE SHOWN ON THE PLANS AND SPECIFICATIONS.

CONCRETE AND ASPHALT

- ALL FORMS SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE ANY CONCRETE IS PLACED. THE ENGINEER INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
- ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
- CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
- CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.
- 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
- ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE PAVED FOR A MINIMUM DISTANCE OF 20' BEYOND THE BACK OF THE SIDEWALK OR CURB & GUTTER APRON WHERE APPLICABLE.
- EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL, ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
- DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

DRAINAGE

- CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED.
- CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
- ALL PIPES, DITS AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE BEING BACKFILLED OR BURIED. THE ENGINEERING INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
- REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
- ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING PIPE SHALL BE TIED INTO NEW PIPE. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT BLOCKED OR DISRUPTED FROM THEIR PRE-CONSTRUCTION DRAINAGE PATTERNS SHALL BE SHORTENED, EXTENDED OR OTHERWISE MODIFIED TO THE NEW WORK USING MATERIALS APPROVED BY THE ENGINEERING INSPECTOR, AND IN SUCH A WAY THAT THE NEW DRAINAGE PATTERNS ARE ACCEPTABLE TO ENGINEER.

VEGETATION

- PRIOR TO REMOVING ANY VEGETATION, CONTRACTOR SHALL MEET WITH THE PROPERTY OWNERS AND THE ENGINEER TO REVIEW THE LIMITS OF CONSTRUCTION AND OBTAIN PERMISSION TO REMOVE VEGETATION REQUIRED TO DO THE WORK.
- TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL BE TRIMMED OR CUT ONLY WITH THE APPROVAL OF THE OWNER AND ENGINEER. ANY TREES OR PLANTS WHICH ARE SHOWN TO REMAIN THAT DO NOT INTERFERE WITH THE WORK, BUT ARE DAMAGED BY CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.

TRAFFIC AND SIGNAGE

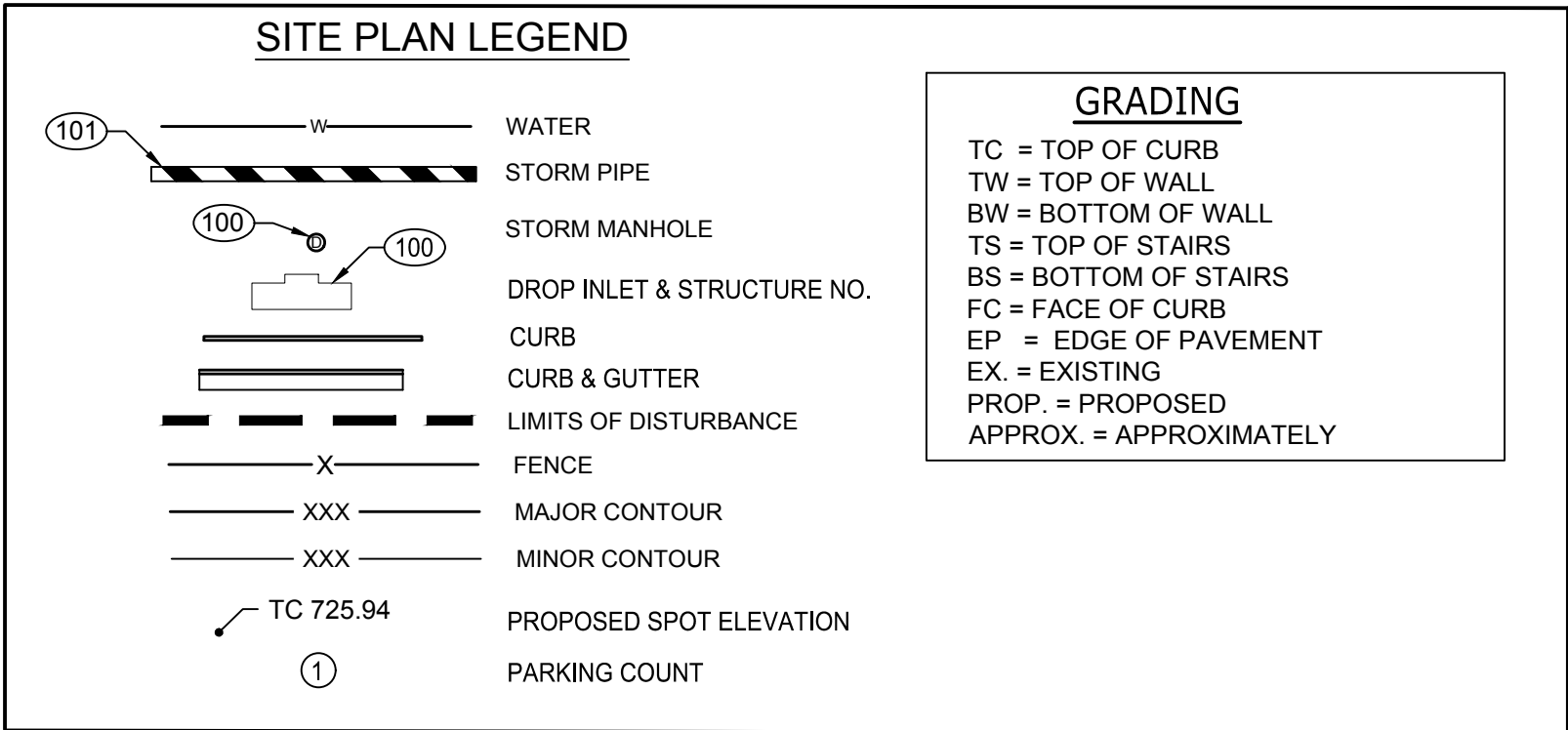
- ALL TEMPORARY NO PARKING REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR WITH APPROVAL OF THE TRAFFIC ENGINEER.
- CONTRACTOR SHALL PROVIDE NECESSARY REFLECTORS, BARRICADES, TRAFFIC CONTROL DEVICES AND/OR FLAG PERSONS TO INSURE THE SAFETY OF ITS WORKERS AND THE PUBLIC.
- CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE PUBLIC ACCESS TO PROPERTIES AND THE PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION. EXCEPT AS APPROVED IN ADVANCE IN WRITING BY THE ENGINEER, TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH WORK AREAS WITHIN THE PUBLIC RIGHT-OF-WAY. THESE TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD MANUAL. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONALLY CONTRACTOR SHALL PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND MAINTAIN PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- EXCEPT AS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE WORK SHALL BE COORDINATED AND PERFORMED IN A MANNER SO THAT ALL EXISTING FIRE HYDRANTS SHALL BE ACCESSIBLE AT ALL TIMES DURING THE WORK.
- CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) TWELVE (12) HOURS IN ADVANCE OF BLOCKING ANY ENTRANCE. NO ENTRANCE SHALL BE BLOCKED FOR MORE THAN TWELVE (12) HOURS IN ANY 24 HOUR PERIOD WITHOUT APPROVAL OF THE PROPERTY OWNER, EXCEPT WHERE NEW ENTRANCES ARE CONSTRUCTED.
- WITHIN 24 HOURS OF THEIR REMOVAL, CONTRACTOR SHALL REPLACE MAILBOXES, STREET SIGNS, TRAFFIC SIGNS, AND THE LIKE THAT ARE REMOVED FOR CONSTRUCTION. PERMANENT OR SUITABLE TEMPORARY ITEMS WILL BE USED AS THE STATUS OF WORK PERMITS. PERMANENT OR TEMPORARY STOP SIGNS MUST BE IN PLACE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY TRAFFIC DIVISION ONE FULL WORKING DAY PRIOR TO ANY CONCRETE POUR WHERE TRAFFIC AND STREET SIGNS ARE TO BE REPLACED. UPON SUCH NOTIFICATION, THE CITY WILL PROVIDE SIGN POST SLEEVES, WHEN NEEDED, AND IDENTIFY THE LOCATION WHERE SIGNS ARE TO BE PLACED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE SHOWN ON PLANS AND SHALL BE CONSISTENT WITH THE MUTCD.
- A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING PACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

MISCELLANEOUS

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER APPROVAL RELATED ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL POLICIES. CONTACT FOR CITY STREET/SIDEWALK CUT PERMITS, PLEASE CALL (434) 970-3361.
- THE CONTRACTOR WILL BE REQUIRED TO PLACE "DEAR NEIGHBOR" DOOR HANGER NOTIFICATIONS ON THE FRONT DOOR OF ALL RESIDENCES AFFECTED BY THE CONSTRUCTION AND "SIDEWALK" SAFETY SIGNS AT EACH LOCATION WITH WORKING CREWS. THIS SHALL BE DONE PRIOR TO ANY WORK STARTING.
- WATER METERS THAT ARE TO BE MOVED SHALL BE MOVED COMPLETELY IN THE SIDEWALK OR COMPLETELY OUT OF THE SIDEWALK. WATER METERS MOVED IN THE SIDEWALK SHALL BE LOCATED WITHIN 18" OF THE EDGE.
- RETAINING WALLS WITH A MAX HEIGHT OF 12" OR LESS SHALL BE POURED IN CONTINUITY WITH THE SIDEWALK. WALLS WITH A MAX HEIGHT GREATER THAN 12" SHALL BE SEGMENTAL BLOCK WALLS.
- ALL SIGNS TO BE RELOCATED SHALL BE LOCATED WITHIN 6 INCHES BEHIND THE BACK EDGE OF THE SIDEWALK.
- MAILBOXES SHALL BE RELOCATED TO THE FRONT OF THE SIDEWALK BUT SHALL ALSO PROVIDE A MINIMUM OF 3 FEET OF CLEARANCE BEHIND THE MAILBOX TO MEET ADA REQUIREMENTS.
- EXISTING ROOF DRAINS SHALL BE ROUTED THROUGH SIDEWALK. ROOF DRAINS LARGER THAN 4" WILL REQUIRE A TROUGH DRAIN.

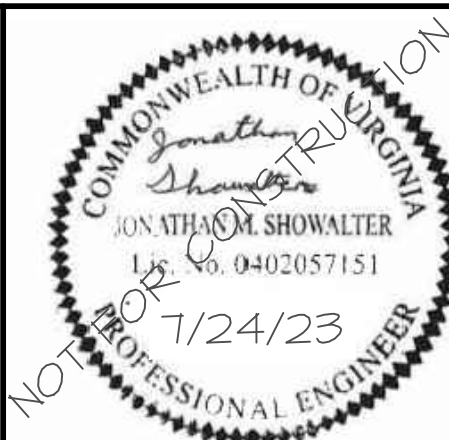
FIRE DEPARTMENT

- SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION.
- FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE BEEN ACCUMULATED.
- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED WITHIN 100' OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000LBS.



GENERAL NOTES

- CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR AS BUILT DOCUMENTATION, AS REQUIRED BY THE LOCALITY. THIS INCLUDES, BUT IS NOT LIMITED TO, TESTING, INSTALLATION DOCUMENTATION, SURVEY, ETC. ALL REQUIREMENTS SHALL BE DISCUSSED WITH THE LOCALITY PRIOR TO BEGINNING CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONSULT THE ENGINEER AND VERIFY THE APPROVAL OF THE PLANS BY ALL FEDERAL, STATE AND LOCAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, EXISTING ASPHALT, SANITARY LINES, WATERLINES, ETC, PRIOR TO CONSTRUCTION. UPON DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE OWNER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT.
- ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH VDOT I AND I LD-94 (D) 121.13.
- ALL RCP STORM SEWER PIPE SHALL BE REINFORCED TONGUE AND GROVE CONCRETE PIPE IN ACCORDANCE WITH ASTM-C-76. PIPE SHALL BE MINIMUM CLASS III OR GREATER IN ACCORDANCE WITH CURRENT VDOT STANDARDS AND SPECIFICATIONS.
- IF PRE-CAST UNITS ARE TO BE USED CERTIFICATION AND VDOT STAMP WILL BE REQUIRED ON ALL UNITS.
- ALL CONCRETE SHALL BE A3-AE (AIR ENTRAINED 3,000 PSI), UNLESS OTHERWISE NOTED.
- DESIGN CHANGES, SPECIFIED MATERIALS CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS NEED TO BE RESUBMITTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED PLANS AND/OR THE DRAINAGE CALCULATIONS, WHICH MUST BE SUBMITTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001.
- THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICE LATERALS AND SLEEVES) SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF AGGREGATE BASE COURSE.
- A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT THE RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.
- THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE ROAD AND BRIDGE SPECIFICATIONS.
- THE OWNERS REPRESENTATIVE SHALL HAVE APPROVED THE AGGREGATE BASE COURSE(S) FOR DEPTH, TEMPLATE AND PERFORMED THE REQUIRED FIELD INSPECTION (PROOF ROLL) PRIOR TO PLACEMENT OF ANY SURFACE COURSE(S), CONTACT THE OWNER FOR INSPECTION FOR THE AGGREGATE BASE COURSE(S) 48 HOURS PRIOR TO APPLICATION OF THE SURFACE COURSE(S).
- ALL VEGETATION AND ORGANIC MATERIAL MATERIAL IS TO BE REMOVED FROM THE PROPOSED PAVEMENT LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.
- CERTIFICATION AND SOURCE OF MATERIALS ARE TO BE SUBMITTED TO THE OWNER FOR ALL MATERIALS AND BE IN ACCORDANCE WITH THE ROAD AND BRIDGE SPECIFICATIONS, AND ROAD AND BRIDGE STANDARDS.
- CONTRACTOR SHALL PROVIDE A SEQUENCE OF CONSTRUCTION/MAINTENANCE OF TRAFFIC PLAN IN ACCORDANCE WITH THE STANDARDS AND GUIDELINES CONTAINED IN THE 2011 EDITION OF THE VIRGINIA WORK AREA PROTECTION MANUAL FOR REVIEW BY THE ENGINEER, OWNER AND CITY OF CHARLOTTESVILLE PRIOR TO STARTING WORK THAT IMPACTS TRAFFIC ON PUBLIC ROADS.
- ALL NEW HANDICAP ACCESSIBLE REQUIREMENTS ON-SITE AND WITHIN ALL NEW STRUCTURES SHALL COMPLY WITH THE MOST CURRENT UNIFORM STATEWIDE BUILDING CODE, VIRGINIA CONSTRUCTION CODE, ICC/ANSI A117.1-03 AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- HORIZONTAL AND VERTICAL SIGHT DISTANCES SHALL BE FREE OF PARKED VEHICLES.



THIS DRAWING PREPARED AT THE
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REVISION DESCRIPTION			
DATE			
07/24/2023			
DRAWN BY	M.AKMAL		
DESIGNED BY	J.SHOWALTER		
CHECKED BY	J.SHOWALTER		
SCALE	N/A		

SITE PLAN AMENDMENT #1

TIMMONS GROUP

CLARKE COURT PRELIMINARY SITE PLAN

CITY OF CHARLOTTESVILLE - VIRGINIA

NOTES AND DETAILS

JOB NO.

58925

SHEET NO.

C1.0

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1. HORIZONTAL DATUM IS BASED ON NAD83 (NA2011), VIRGINIA STATE GRID, SOUTH ZONE. VERTICAL DATUM IS BASED ON NAVD 88. DATUM ESTABLISHED THROUGH LEICA SmartNet GPS RTK OBSERVATIONS.

3. BOUNDARY SHOWN HEREON IS BASED ON A CURRENT FIELD-RUN SURVEY BY THIS FIRM.

4. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 51003C02690, PANEL 269 OF 575, EFFECTIVE DATE FEBRUARY 4, 2005, THE PROPERTY DEPICTED HEREON LIES IN UNSHADED ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

5. MISS UTILITY (72 HR. / 811) TICKETS INITIATED,
REFERENCED AS FOLLOWS:

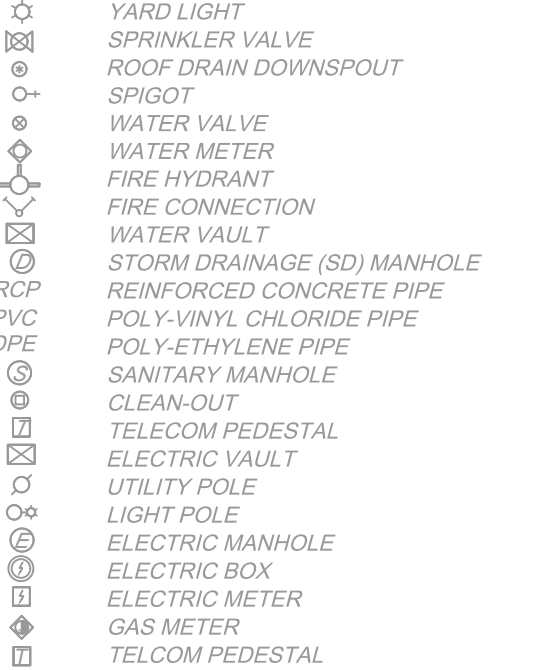
B311802039-00B

B311802045-00B

B311802056-00B

B311802063-00B

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF JOSEPH MEDLEY FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: JULY 1, 5, 7, & 11, 2016; UPDATED ON MAY 2 & 3, 2023. THIS BASE-MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE




FOOTPRINT OF EXISTING BUILDING AND ITS
WALKWAYS DEMOLISHED UNDER PROJECT
"108 CLARKE COURT DEMOLITION SITE PLAN
AMENDMENT (TMP 170091000)". PER THE
MENTIONED PROJECT, THIS AREA IS TO BE
USED FOR PRE/POST PAVEMENT &
IMPERVIOUS AREA BALANCE.

⊙	(F)	CORNER FOUND, AS NOTED
●	(S)	CORNER SET, AS NOTED
	DH	DRILL HOLE
△		COMPUTED POINT

CONTOUR INTERVAL = 1

SCALE 1"=20'



A horizontal scale bar with a white segment from 0 to 20 feet and a black segment from 20 to 40 feet. The labels '20'' and '40'' are placed below the bar at their respective positions.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N5°06'21"W	9.69'
L2	S87°49'24"W	4.00'
L3	N12°05'04"W	40.55'
L4	N42°46'29"E	44.95'
L5	S0°13'36"E	41.46'

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	10.69'	16.14'	10.06'	86°31'44"	N0°29'23"W	14.65'
C2	22.42'	7.99'	4.04'	20°24'31"	N32°34'15"E	7.94'
C3	22.42'	10.75'	5.48'	27°28'20"	N8°37'49"E	10.65'
C4	15.11'	7.01'	3.57'	26°33'47"	N18°23'11"W	6.94'
C5	15.11'	7.91'	4.05'	29°58'32"	N46°39'20"W	7.82'
C6	26.45'	5.92'	2.97'	12°50'00"	N39°47'24"E	5.91'
C7	26.45'	15.51'	7.99'	33°36'01"	N16°34'23"E	15.28'
C8	10.51'	15.99'	10.00'	87°09'23"	N86°21'29"E	14.49'

A circular professional engineer seal for the Commonwealth of Virginia. The seal features a scalloped outer border. Inside the border, the text "COMMONWEALTH OF VIRGINIA" is written in a circular path at the top. The name "Jonathon Showalter" is written in a cursive script in the center. Below the name, "JONATHAN M. SHOWALTER" is printed in a sans-serif font. Underneath that, "Lic. No. 0402057151" is printed. At the bottom, the date "7/24/23" is printed. The words "PROFESSIONAL ENGINEER" are written in a circular path at the bottom. A diagonal watermark reading "NOT FOR CONSTRUCTION" is overlaid across the seal.

THIS DRAWING PREPARED AT THE
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SITE PLAN AMENDMENT #1

[illegible]

07/24/2023

DRAWN BY

DESIGNED BY

SHOWALTE

1000

SCALE

$$1''=20'$$
The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of a series of dots of varying sizes arranged in a curved, upward-pointing arc.

CLARKE COURT PRELIMINARY SITE PLAN

EXISTING CONDITIONS

JOB NO.

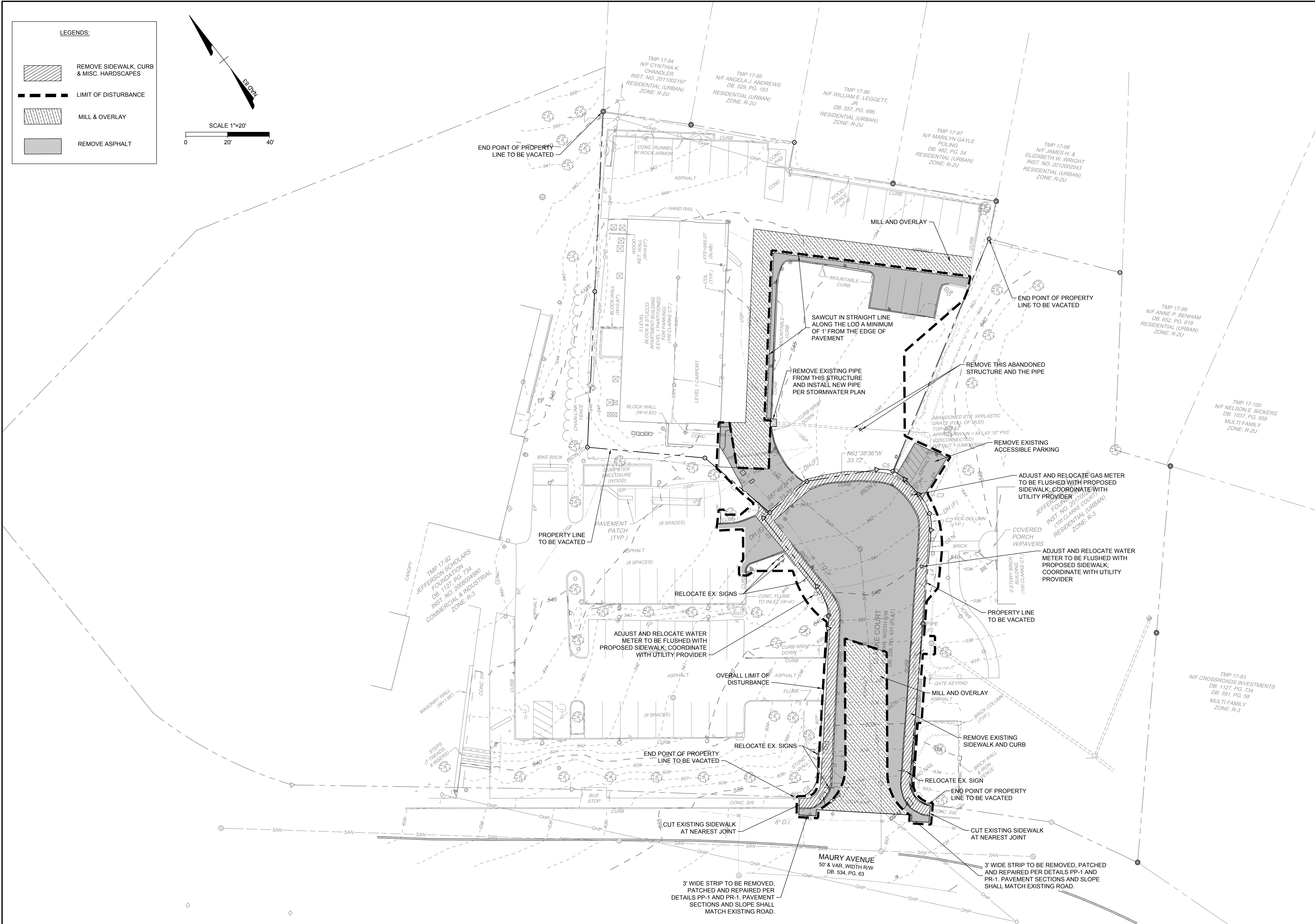
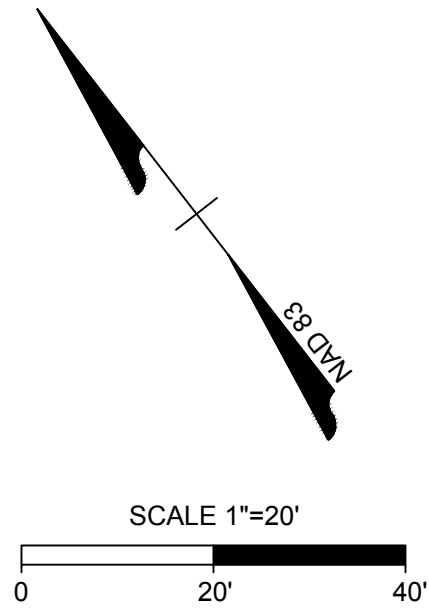
58925

SHEET NO.

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LEGENDS:

- REMOVE SIDEWALK, CURB & MISC. HARDSCAPES
- LIMIT OF DISTURBANCE
- MILL & OVERLAY
- REMOVE ASPHALT



COMMONWEALTH OF VIRGINIA
J. SHOWALTER
JONATHAN O. SHOWALTER
1/5/93, 0402057151
NOT A PROFESSIONAL ENGINEER
7/24/23

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SITE PLAN AMENDMENT #1	
DATE	REVISION DESCRIPTION

DATE	07/24/2023
DRAWN BY	M.AKMAL
DESIGNED BY	J.SHOWALTER
CHECKED BY	J.SHOWALTER
SCALE	1"=20'

TIMMONS GROUP

CLARKE COURT PRELIMINARY SITE PLAN
CITY OF CHARLOTTESVILLE - VIRGINIA

DEMOLITION PLAN

JOB NO.	58925
SHEET NO.	C2.1

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EROSION AND SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION
THIS PROJECT INCLUDES THE CONSTRUCTION OF 7 NEW PARKING SPACES, EXTENSION OF EXISTING DRIVE, AND ADDITION OF NEW SIDEWALK ALONG BOTH SIDES OF THIS DRIVE. LIMITS OF DISTURBANCE IS 0.37 ACRES.

ADJACENT PROPERTY
THE PROJECT IS BOUNDED BY JEFFERSON SCHOLARS FOUNDATION TO THE WEST AND EAST. TO THE NORTH ARE RESIDENTIAL PROPERTIES AND MAURY AVENUE IS TO THE SOUTH OF PROJECT.

EXISTING SITE CONDITIONS
CURRENTLY THE SITE HAS RESIDENTIAL HOUSING, SIDEWALK, PARKING, SOME PLANTING & TREES AND A VACANT GRASS PASTURE.

PERMITTING
THE OWNER SHALL OBTAIN ALL REQUIRED STATE AND FEDERAL PERMITS INCLUDING VDEQ INDIVIDUAL PERMIT, VRMC GENERAL PERMIT, OR US ACE NATIONWIDE PERMIT (WETLAND IMPACTS) ETC.

OFF-SITE AREAS
NO OFFSITE AREAS WILL BE DISTURBED AS PART OF CONSTRUCTION.

CRITICAL EROSION AREAS
CONTRACTOR TO PAY SPECIAL ATTENTION TO ENSURING SEDIMENT TRAPPING MEASURES IN THE SOUTHERN CORNER OF THE SITE REMAIN EFFECTIVE THROUGH CONSTRUCTION BOTH PHASE 1 AND PHASE 2.

EROSION AND SEDIMENT CONTROL MEASURES
UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE CURRENT ADDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE BY LOCAL AUTHORITIES HAVING JURISDICTION.

STORMWATER RUNOFF CONSIDERATIONS
ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH VESCH AND THE CONSTRUCTION SEQUENCE, INCLUDING THE INSPECTION OF ALL MEASURES AFTER ALL RAIN EVENTS.

- STRUCTURAL PRACTICES:**
1. **TEMPORARY CONSTRUCTION ENTRANCE** - 3.02 A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT THE LOCATION INDICATED ON THE PLANS. IT IS IMPERATIVE THAT THIS MEASURE BE MAINTAINED THROUGHOUT CONSTRUCTION. ITS PURPOSE IS TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PAVED PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.
 2. **SILT FENCE BARRIER** - 3.05 SILT FENCE SEDIMENT BARRIERS SHAL L BE INSTALLED DOWNSLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW AS INDICATED. ITS PURPOSE IS TO INTERCEPT SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
 3. **STORM DRAIN INLET PROTECTION** - 3.07 STONE FILTERS SHALL BE PLACED AT THE INLET OF ALL DRAINAGE STRUCTURES AS INDICATED ON PLANS. ITS PURPOSE IS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION.
 4. **ROCK CHECK DAM** - 3.20 SMALL TEMPORARY STONE DAM CONSTRUCTED ACROSS A SWALE OR DRAINAGE DITCH.
 5. **TREE PROTECTION** - 3.38 PROTECTION OF DESIRABLE TREES FROM MECHANICAL AND OTHER INJURY DURING LAND DISTURBING AND CONSTRUCTION ACTIVITY.
 6. **DUST CONTROL** - 3.39 DUST CONTROL IS TO BE USED THROUGH THE SITE IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT.

- VEGETATIVE PRACTICES:**
1. **TOPSOIL (TEMPORARY STOCKPILE)** - 3.30 TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER SPREADING. STOCKPILE LOCATIONS SHALL BE LOCATED ONSITE AND SHALL BE STABILIZED WITH TEMPORARY SILT FENCE AND VEGETATION.
 2. **TEMPORARY SEEDING** - 3.31 ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR MORE THAN 30 DAYS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OF THOSE AREAS. SELECTION OF THE SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR IT IS APPLIED.
 3. **PERMANENT SEEDING** - 3.32 FOLLOWING GRADING ACTIVITIES, ESTABLISH PERENNIAL VEGETATIVE COVER BY PLANTING SEED TO REDUCE EROSION, STABILIZE DISTURBED AREAS, AND ENHANCE NATURAL BEAUTY.

- MANAGEMENT STRATEGIES**
1. PROVIDE SEDIMENT TRAPPING MEASURES AS A FIRST STEP IN GRADING, SEED AND MULCH IMMEDIATELY FOLLOWING INSTALLATION.
 2. PROVIDE TEMPORARY SEEDING OR OTHER STABILIZATION IMMEDIATELY AFTER GRADING.
 3. ISOLATE TRENCHING FOR UTILITIES AND DRAINAGE FROM DOWNSTREAM CONVEYANCES IN ORDER TO MINIMIZE PERIMETER CONTROLS.
 4. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THEY ARE NO LONGER REQUIRED TO COMPLY WITH THE CONTRACT DOCUMENTS OR STATE LAW.

PERMANENT STABILIZATION
ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.32, PERMANENT SEEDING. SEED TYPE SHALL BE AS SPECIFIED FOR "MINIMUM CARE LAWNS" AND "GENERAL SLOPES" IN THE HANDBOOK FOR SLOPES LESS THAN 3:1. FOR SLOPES GREATER THAN 3:1, SEED TYPE SHALL BE AS SPECIFIED FOR "LOW MAINTENANCE SLOPES" IN TABLE 3.32-D OF THE HANDBOOK. FOR MULCH (STRAW OR FIBER) SHALL BE USED ON ALL SEEDED SURFACES. IN ALL SEEDING OPERATIONS SEED, FERTILIZER AND LIME SHALL BE APPLIED PRIOR TO MULCHING.

- SEQUENCE OF INSTALLATION**
- PHASE 1
1. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE CITY OF CHARLOTTESVILLE E&S INSPECTOR, CONTRACTOR, OWNER, AND ENGINEER. THIS MEETING SHALL TAKE PLACE AT THE NEIGHBORHOOD DEVELOPMENT SERVICES DEPARTMENT. CLEARING LIMITS MUST BE FLAGGED PRIOR TO THE MEETING WITH ONE (1) WEEK OF NOTICE.
 2. INSTALL CONSTRUCTION ENTRANCE. SHOULD THE TEMPORARY CONSTRUCTION ENTRANCE NOT BE MAINTAINED PROPERLY OR AN EXCESSIVE AMOUNT OF SOIL BE TRACKED ONTO THE PUBLIC ROADWAY, THEN A PAVED CONSTRUCTION ENTRANCE, WATER TANKER TRUCK WITH PRESSURE WASHERS, AND SETTING AREA MAY BE REQUIRED BY THE EROSION CONTROL INSPECTOR.
 3. INSTALL PERIMETER SILT FENCE AND TREE PROTECTION ALONG LIMITS OF DISTURBANCE.
 4. AFTER ALL EROSION CONTROL MEASURES SHOWN IN PHASE 1 E&S PLAN ARE INSTALLED AND APPROVED BY INSPECTOR, THE CONTRACTOR CAN BEGIN CLEARING, DEMOLITION AND GRADING.
 5. SEED ALL DENUDED AREAS PER VESCH STANDARDS.

- PHASE 2
1. INSTALL ADDITIONAL INLET PROTECTION WHERE SHOWN ON THE PHASE 2 E&S PLAN, AS THE STORM SYSTEM IS CONSTRUCTED AND BECOMES OPERATIONAL.
 2. ALL STORMWATER PIPING AND STRUCTURES SHALL BE INSPECTED FOR SILT/SEDIMENT. IF PRESENT SILT/SEDIMENT SHALL BE CLEANED OUT FOR THE SYSTEM TO THE SATISFACTION OF THE E&S INSPECTOR.
 3. FINE GRADE REMAINING PROJECT AREA. APPLY PERMANENT SOIL STABILIZATION WITHIN SEVEN DAYS AFTER FINAL GRADE IS ACHIEVED.
 4. ONCE CONSTRUCTION IS COMPLETE AND ALL CONTRIBUTING AREAS ARE STABILIZED, EROSION CONTROL MEASURES CAN BE REMOVED UPON APPROVAL FROM THE E&S INSPECTOR.

PROJECT SOIL INFORMATION:

121C - CULPEPER URBAN LAND COMPLEX, 7 TO 15 PERCENT SLOPES. HYDROLOGIC SOIL GROUP: B

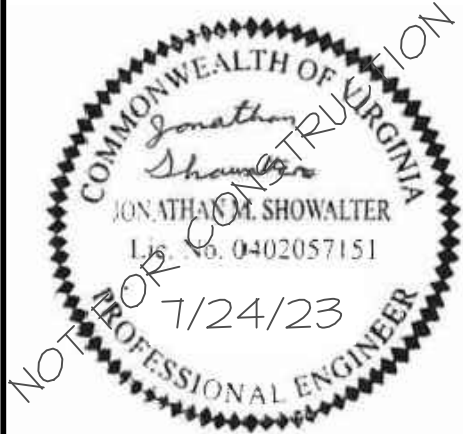
MINIMUM STANDARDS:

- AN EROSION AND SEDIMENT CONTROL PROGRAM ADOPTED BY A DISTRICT OR LOCALITY MUST BE CONSISTENT WITH THE FOLLOWING CRITERIA, TECHNIQUES AND METHODS:
- MS-1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- MS-2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- MS-3. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- MS-4. SEDIMENT TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- MS-5. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- MS-6. SEDIMENT TRAPS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP.
A. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES.
- MS-7. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- MS-8. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- MS-9. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- MS-10. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- MS-11. BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- MS-12. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- MS-13. WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
- MS-14. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.
- MS-15. THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
- MS-16. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- MS-17. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- MS-18. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- MS-19. PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE STANDARDS AND CRITERIA LISTED IN SECTION 19 OF VIRGINIA ADMINISTRATIVE CODE 9VAC25-840-40 MINIMUM STANDARDS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ES-1: UNLESS OTHERWISE INDICATED, CONSTRUCT AND MAINTAIN ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
- ES-2: THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY WILL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHODS AND EFFECTIVENESS OF THE EROSION CONTROL PLAN.
- ES-3: PLACE ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR AS THE FIRST STEP IN CLEARING, GRADING, OR LAND DISTURBANCE.
- ES-4: MAINTAIN A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN ON THE SITE AT ALL TIMES.
- ES-5: PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFFSITE BORROW OR WASTE AREA), SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ARCHITECT/ENGINEER AND THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY FOR REVIEW AND ACCEPTANCE.
- ES-6: PROVIDE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE RESPONSIBLE LAND DISTURBER. (MODIFIED NOTE)
- ES-7: ALL DISTURBED AREAS SHALL DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND-DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT.
- ES-8: DURING DEWATERING OPERATIONS, PUMP WATER INTO AN APPROVED FILTERING DEVICE.
- ES-9: INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF- PRODUCING RAINFALL EVENT. MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES IMMEDIATELY.

TABLE 3.31-B ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS "QUICK REFERENCE FOR ALL REGIONS"		
PLANTING DATES	SPECIES	RATE (LBS./ACRE)
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	75
FEB. 16 - APR. 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	75
MAY 1 - AUG. 31	GERMAN MILLET (SETARIA ITALICA)	50
3.31		
TEMPORARY SEEDING PLANT MATERIALS		
No Scale		
TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA		
		TOTAL LBS. PER ACRE
MINIMUM CARE LAWN		180 LBS.
COMMERCIAL OR RESIDENTIAL		95%
KENTUCKY 31 OR TURF-TYPE TALL FESCUE		0-5%
IMPROVED PERENNIAL RYEGRASS		0-5%
KENTUCKY BLUEGRASS		0-5%
GENERAL SLOPE (3:1 OR LESS)		128 LBS.
KENTUCKY 31 FESCUE		2 LBS.
RED TOP GRASS		20 LBS.
SEASONAL NURSE CROP *		150 LBS.
LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)		
* SEE SLOPE STABILIZATION SEED MIX		
* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW: FEBRUARY 16TH THROUGH APRIL..... ANNUAL RYE MAY 1ST THROUGH AUGUST 15TH..... FOXTAIL MILLET AUGUST 16TH THROUGH OCTOBER..... ANNUAL RYE NOVEMBER THROUGH FEBRUARY 15TH..... WINTER RYE		
** SUBSTITUTE SERICEA LESPEDEZA FOR CROWNVETCH EAST OF FARMVILLE, VA (MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS, USE UNHULLED SERICEA). IF FLATPEA IS USED IN LIEU OF CROWNVETCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.		
3.32		
PERMANENT SEEDING MIX FOR PIEDMONT AREA		
No Scale		



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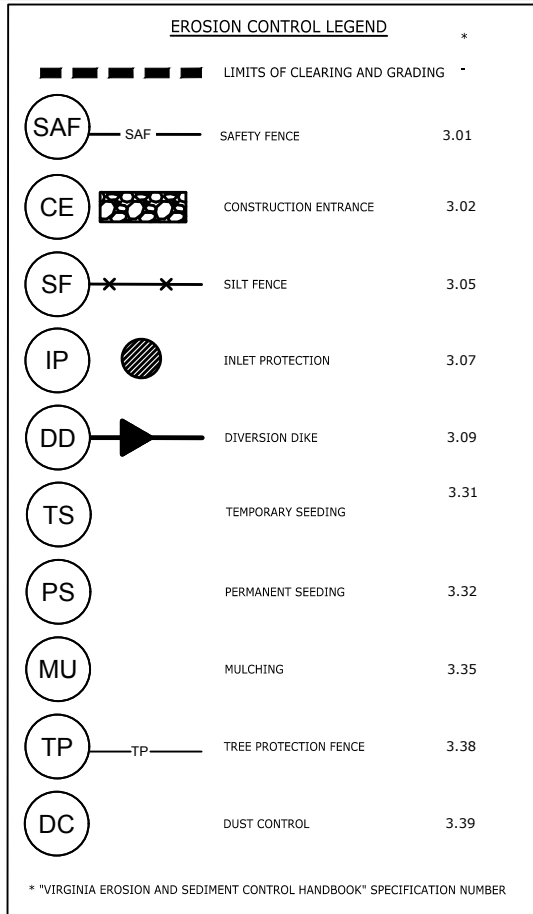
REVISION DESCRIPTION		DATE			
DATE		07/24/2023	DRAWN BY	M.AKMAL	
DESIGNED BY		J.SHOWALTER	CHECKED BY	J.SHOWALTER	
SCALE		N.A.			

TIMMONS GROUP

CLARKE COURT PRELIMINARY SITE PLAN
CITY OF CHARLOTTESVILLE - VIRGINIA
EROSION & SEDIMENT CONTROL NOTES & DETAILS

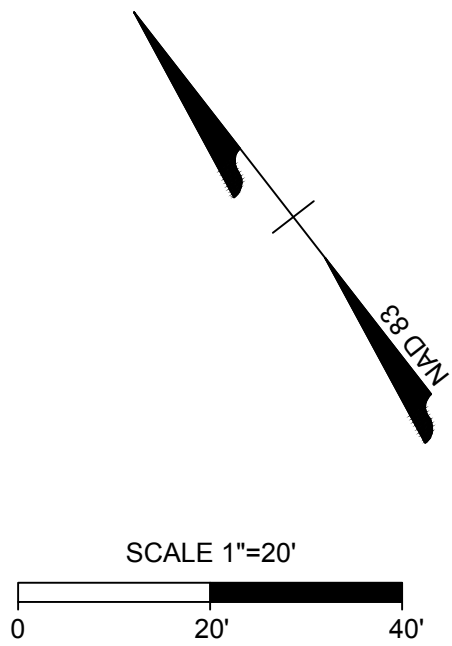
JOB NO.
58925
SHEET NO.
C3.0

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GENERAL NOTES:

- A. REFER TO SHEET C3.0 FOR EROSION AND SEDIMENT CONTROL NOTES, NARRATIVE, AND SEQUENCE OF CONSTRUCTION. REFER TO SHEETS C3.1 & C3.2 FOR DETAILS.
- B. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED WITH SUFFICIENT GRASS COVER TO ELUATE EROSION OR ARE REPLACED BY OTHER MEASURES.
- C. EROSION AND SEDIMENT CONTROL MINIMUM STANDARDS (MS-1 THROUGH MS-19) SHALL BE FOLLOWED AT ALL TIMES.
- D. ALL CONSTRUCTION TRAFFIC SHALL ENTER THE SITE USING AN APPROVED CONSTRUCTION ENTRANCE. REMOVE AND AND DISPOSE OF ALL MATERIAL IN A LAWFUL MANNER. ALL OFFSITE AREAS USED FOR HAULING SOILS SHALL HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND LAND DISTURBING PERMIT.
- F. TEMPORARY SEEDING, STRAW MULCHING, AND DUST CONTROL FOR ALL EXPOSED AREAS DURING CONSTRUCTION.



A circular professional engineer seal for the Commonwealth of Virginia. The outer ring contains the text "COMMONWEALTH OF VIRGINIA" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the ring, the name "Jonathan Showalter" is written in a cursive script. Below the name, the text "JONATHAN M. SHOWALTER" and "Lic. No. 0402057151" are printed. At the bottom of the seal, the date "7/24/23" is printed. A diagonal watermark reading "NOT FOR CONSTRUCTION" is overlaid across the seal.

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TEL 434.295.5624 FAX 434.295.8317 www.timmons.com

SITE PLAN AMENDMENT #1

DATE _____

DATE
7/24/2023

M.AKMAL

DESIGNED BY
HOWALTER

HOWALTER

SCALE
 $1'' = 20'$

The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of a series of dots of varying sizes arranged in a curved, upward-pointing arc.

CLARKE COURT PRELIMINARY SITE PLAN

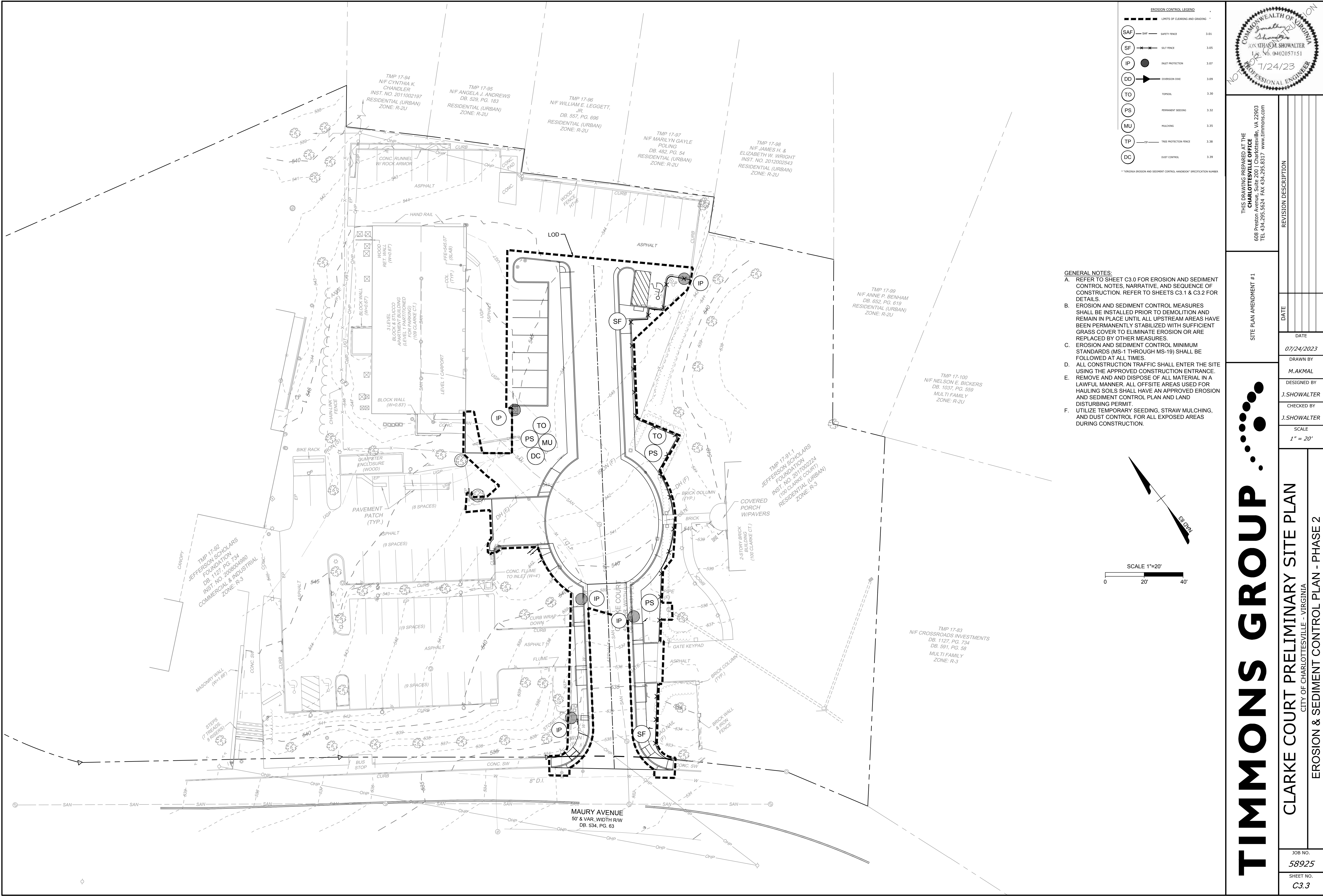
CITY OF CHARLOTTESVILLE - VIRGINIA

EROSION & SEDIMENT CONTROL PLAN - PHASE 1

JOB NO.
58925

SHEET NO.
C3.2

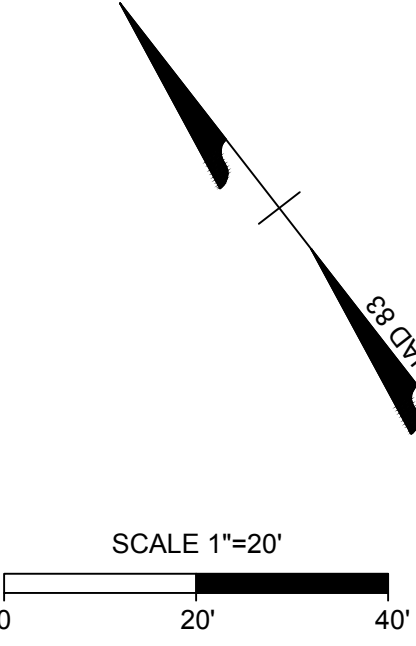
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EROSION CONTROL LEGEND		
LIMITS OF CLEARING AND GRADING		
SAF	SAF	SAFETY FENCE 3.01
SF	SF	SILT FENCE 3.05
IP	IP	INLET PROTECTION 3.07
DD	DD	DIVERSION DIKE 3.09
TO	TO	TOPSOIL 3.30
PS	PS	PERMANENT SEEDING 3.32
MU	MU	MULCHING 3.35
TP	TP	TREE PROTECTION FENCE 3.38
DC	DC	DUST CONTROL 3.39

* VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK SPECIFICATION NUMBER

- GENERAL NOTES:
- REFER TO SHEET C3.0 FOR EROSION AND SEDIMENT CONTROL NOTES, NARRATIVE, AND SEQUENCE OF CONSTRUCTION. REFER TO SHEETS C3.1 & C3.2 FOR DETAILS.
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 - EROSION AND SEDIMENT CONTROL MINIMUM STANDARDS (MS-1 THROUGH MS-19) SHALL BE FOLLOWED AT ALL TIMES.
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 - UTILIZE TEMPORARY SEEDING, STRAW MULCHING, AND DUST CONTROL FOR ALL EXPOSED AREAS DURING CONSTRUCTION.



COMMONWEALTH OF VIRGINIA

Shawalter

JOHNATHAN SHOWALTER

1/5/93 0402057151

NOTAR PUBLIC

7/24/23

PROFESSIONAL ENGINEER

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SITE PLAN AMENDMENT #1

DATE

07/24/2023

DRAWN BY

M.AKMAL

DESIGNED BY

J.SHOWALTER

CHECKED BY

J.SHOWALTER

SCALE

1" = 20'

TIMMONS GROUP

CLARKE COURT PRELIMINARY SITE PLAN

CITY OF CHARLOTTESVILLE - VIRGINIA

EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO.

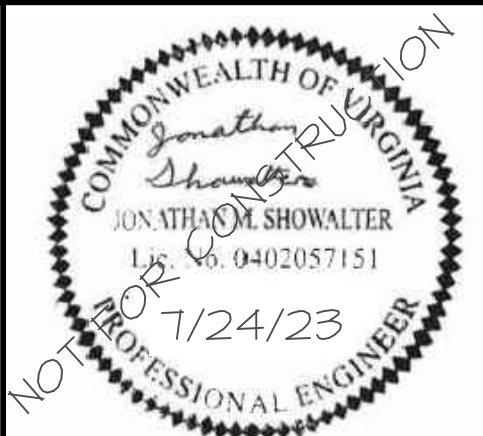
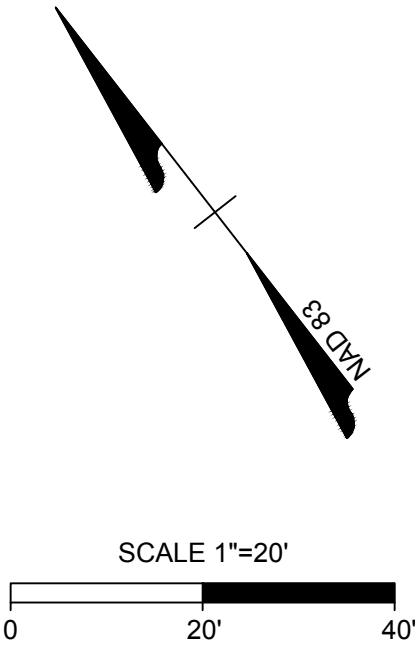
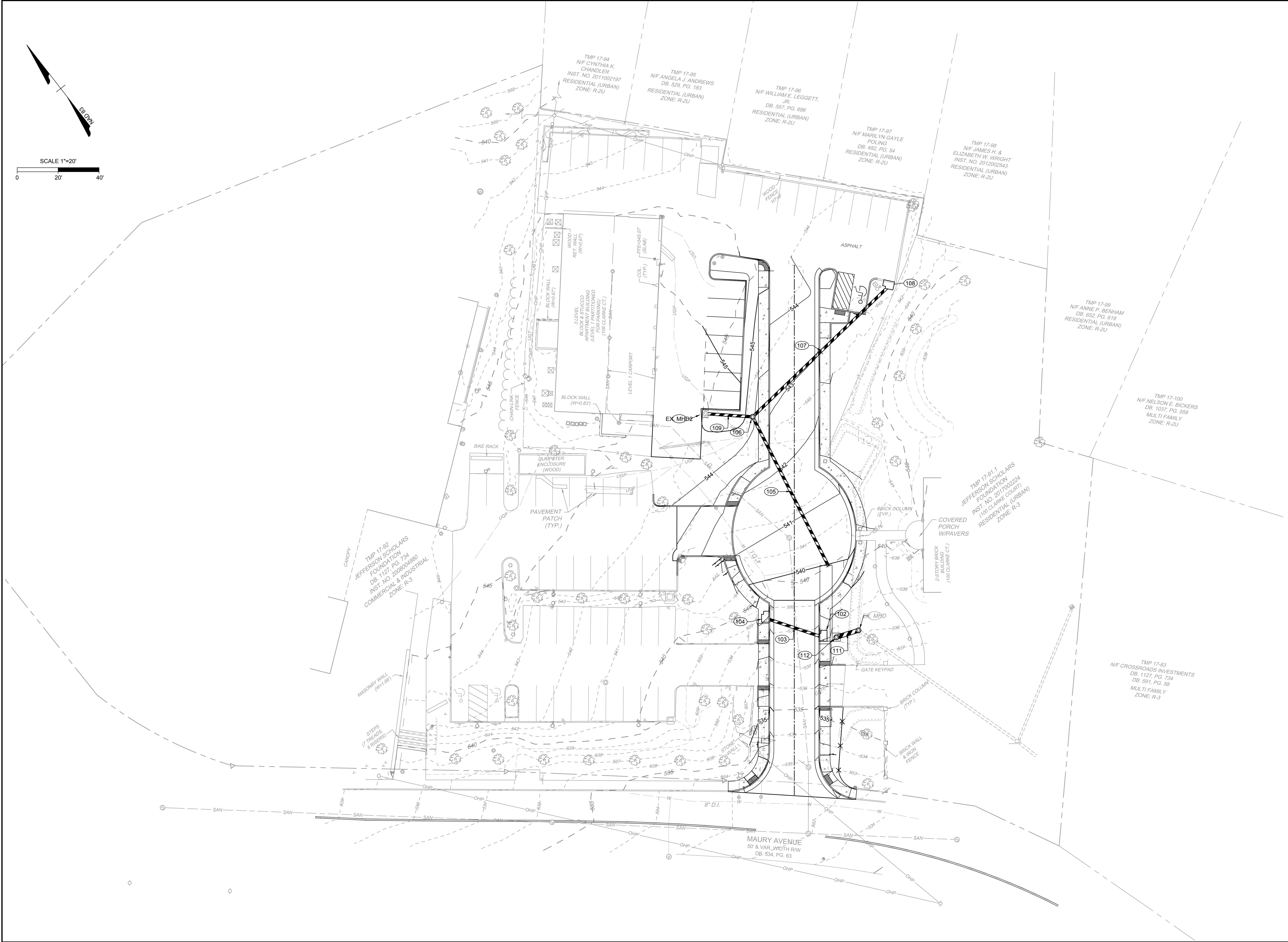
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DATE	DRAWN BY
07/24/2023	M.AKMAL
CHECKED BY	DESIGNED BY
J.SHOWALTER	J.SHOWALTER
SCALE	
1"=20'	



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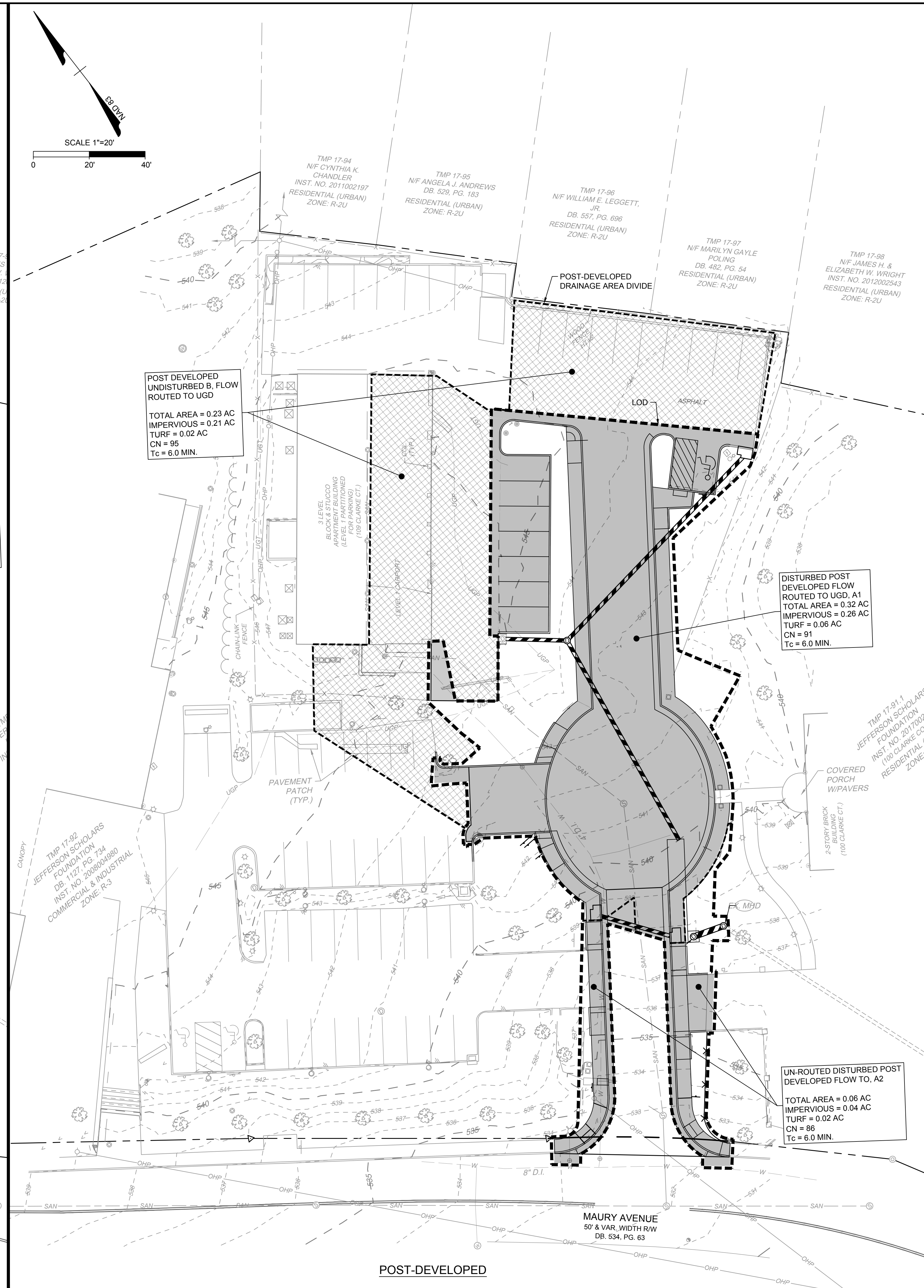
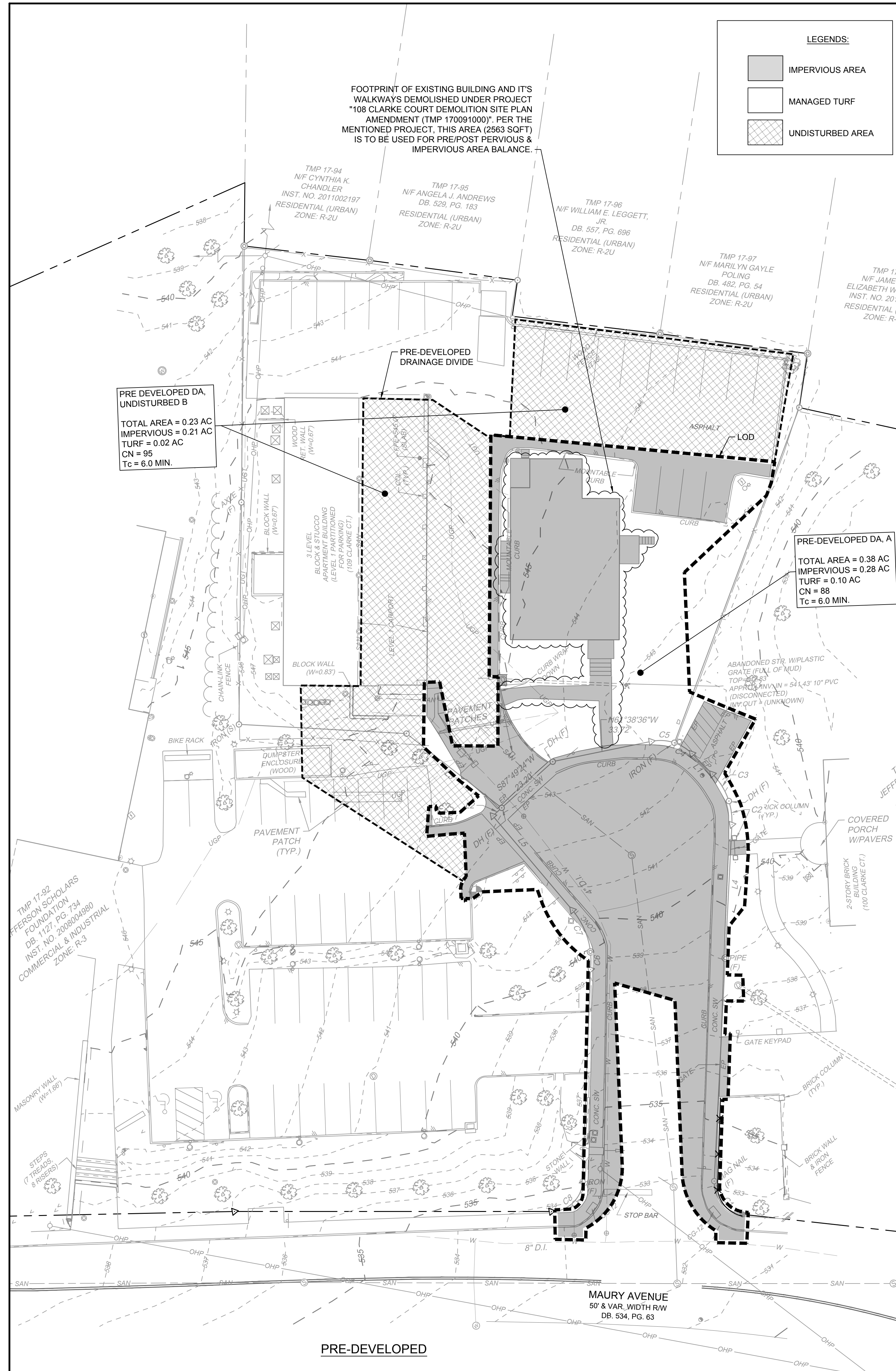
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CITY OF CHARLOTTESVILLE - VIRGINIA

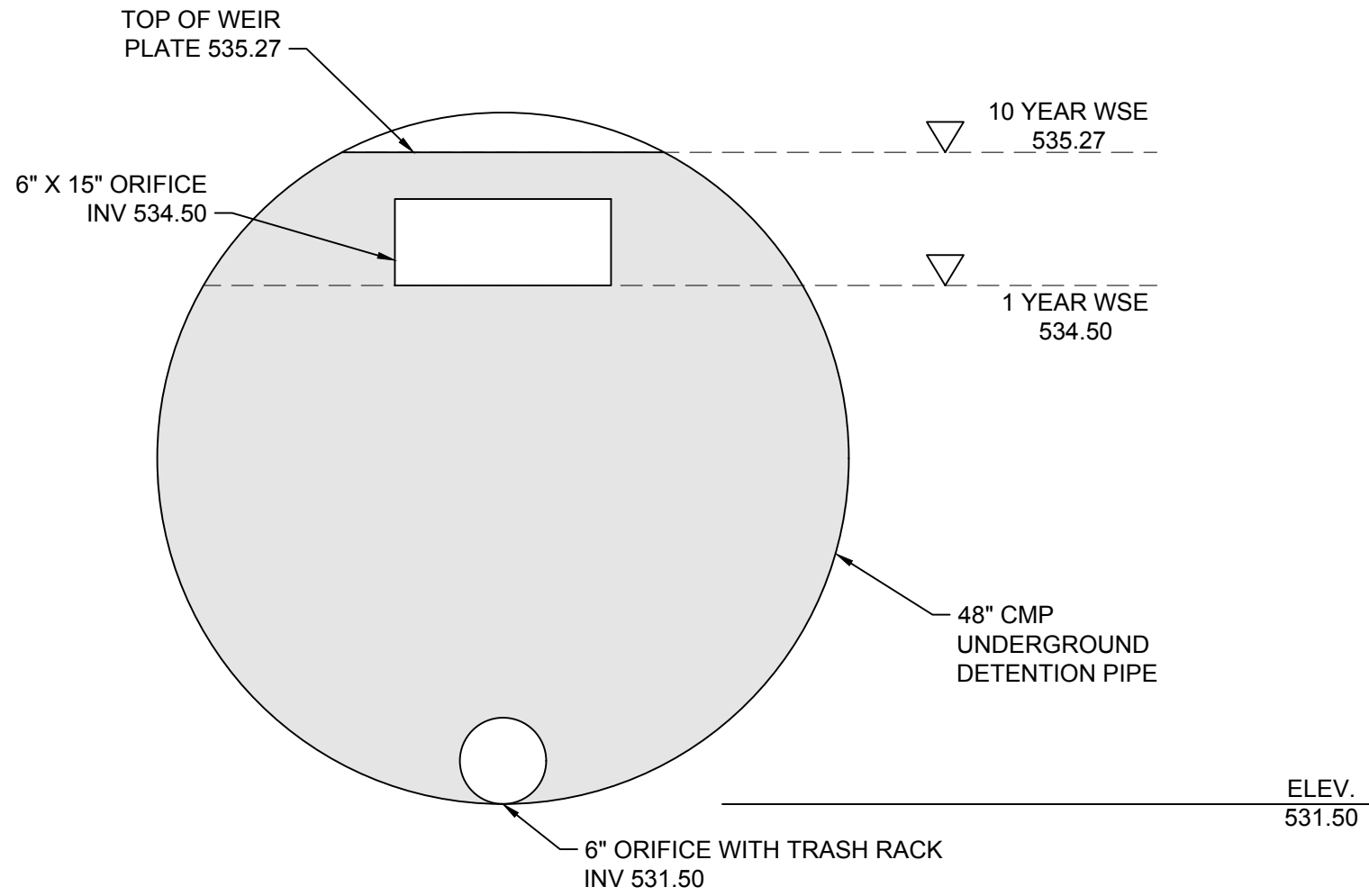
GRADING AND DRAINAGE PLAN

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SHEET NO.	C5.0

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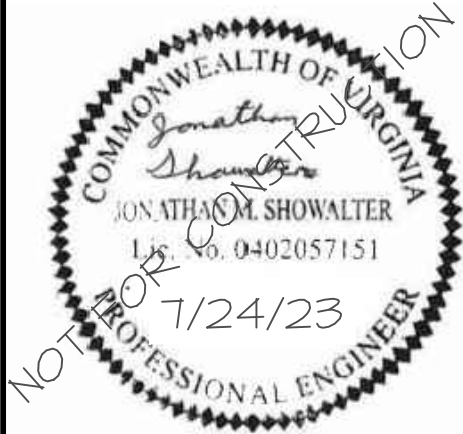


SUMMARY FROM RUNOFF REDUCTION SPREAD SHEET:		WATER QUANTITY CALCULATIONS:	
DISTURBED AREA: 0.38 ACRES		CHANNEL PROTECTION (ENERGY BALANCE):	
PRE-DEVELOPMENT LAND COVER:		$Q_{DEVELOPED} \leq 0.9(Q_{PRE-DEVELOPED} * RV_{PRE-DEVELOPED}) / RV_{DEVELOPED} + Q_{UNDISTURBED}$	
"B" SOILS:		1.72 CFS \leq 0.9*(1.2 CFS*0.059 AC-FT)/(0.009 + 0.056) AC-FT + 0.91 CFS	
		OK 1.72 CFS \leq 1.89 CFS	
0.15 AC TURF (B SOILS)		FLOOD PROTECTION:	
0.23 AC IMPERVIOUS		POST-DEVELOPED $Q_{10} \leq$ PRE-DEVELOPED Q_{10}	
0.0 AC FOREST		OK 4.34 CFS (POST-DEVELOPED Q_{10}) \leq 4.34 CFS (PRE-DEVELOPED Q_{10})	
POST-DEVELOPMENT LAND COVER:			
"B" SOILS:			
0.09 AC TURF (B SOILS)			
0.29 AC IMPERVIOUS			
0.0 AC FOREST			
REQUIRED REMOVAL: 0.16 LB/YR			



SWM A WEIR PLATE SECTION DETAIL

- DETENTION SYSTEM INSPECTION/MAINTENANCE SCHEDULE:
1. INSPECT PIPE SYSTEM BOTH UPSTREAM AND DOWNSTREAM OF WEIR PLATE CONTROL STRUCTURE FOR SEDIMENT BUILDUP ON A YEARLY BASIS.
 2. INSPECT WEIR PLATE CONTROL STRUCTURE FOR CLOGGED ORIFICES ON A YEARLY BASIS. IF ANY CONTROL ORIFICES ARE CLOGGED, REMOVE DEBRIS.
 3. EACH DETENTION PIPE SHALL BE CLEANED OUT ANNUALLY, OR MORE FREQUENTLY IF ANNUAL INSPECTION/CLEANING SHOWS MORE SEDIMENT THAN ANTICIPATED.



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CHECKED BY
J.SHOWALTER

SCALE
1" = 20'

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CLARKE COURT PRELIMINARY SITE PLAN

CITY OF CHARLOTTESVILLE - VIRGINIA

STORMWATER NARRATIVES

JOB NO.
58925

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