

Packet Guide
City of Charlottesville
Board of Architectural Review
Regular Meeting
August 20, 2024, 5:30 p.m.
Hybrid Meeting (In-person at CitySpace and virtual via Zoom)



Pre-Meeting Discussion

Regular Meeting

- A. Introduction of new members and elect co-chair.**
- B. Matters from the public not on the agenda [or on the Consent Agenda]**
- C. Consent Agenda**
 - 1. [Approval of meeting minutes: May 21, 2024](#) [No BAR meetings in June or July.]
 - 2. [Certificate of Appropriateness Application](#)
BAR # 24- 08-01
0 Park Street, Tax Map Parcel 520051000
(Rear parcel at 745 Park Street)
North Downtown ADC District
Owners/Applicants: Karen Vajda and Kevin Riddle
Project: New house. [CoA approved March 2024. Design has been modified.]
 - 3. [Certificate of Appropriateness Application](#)
BAR # 24- 08-05
627 Cabell Avenue; TMP 050105000
Rugby Road, University Circle, Venable Neighborhood ADC District
Owners/Applicants: Neighborhood Investments, LLC/ Caleb Slabach, CEO
Cornerstone General Contractors, LLC
Project: Construction of rear, two-story porch
- D. Deferred Items [none]**
- E. New Items**
 - 4. [Certificate of Appropriateness](#)
BAR # 24-08-04
809 Locust Avenue, Tax Map Parcel 510019000
Martha Jefferson HC District
Owner: Sarah and Thomas Shafran
Applicant: Rosney Architects
Project: Addition and alterations to the primary elevation.

5. Certificate of Appropriateness

BAR # 24-08-02

7 Gildersleeve Wood, Tax Map Parcel 110017100

Oakhurst Circle-Gildersleeve ADC District

Owners/Applicants: Mary and Scott Prior

Project: Construct entry portico.

6. Certificate of Appropriateness

BAR # 24-08-03

316 East Main Street, Tax Map Parcel 280042000

Downtown ADC District

Owner: Biggs Hardware Store LLC

Applicant: “Hock” Hockensmith, Howard Hanna/Roy Wheeler Realty

Project: Water Street elevation: Remove commercial entry, install garage door.

F. Other Business

7. **Presentation:** Downtown Mall Tree Study (Wolf Josey Landscape Architects)

8. **Staff questions/discussion**

Recent administrative approvals summary.

Looking ahead- September work session: *Design Guidelines for Café Spaces*

- Chapter V- Signs, Awnings, Vending & Cafés, Section E. Outdoor Cafés.

G. Adjourn

Certificate of Appropriateness Application

BAR # 24-08-01

0 Park Street, Tax Map Parcel 520051000

(Rear parcel at 745 Park Street)

North Downtown ADC District

Owners/Applicants: Karen Vajda and Kevin Riddle

Project: New house. [CoA approved March 2024. Design has been modified.]

Application components (please click each link to go directly to PDF page):

- [Staff Report](#)
- [Historic Survey](#)
- [Applicant Submittals](#)

Certificate of Appropriateness Application

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BAR # 24-08-04

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Owner: Sarah and Thomas Shafran

Applicant: Rosney Architects

Project: Addition and alterations to the primary elevation.

Application components (please click each link to go directly to PDF page):

- [Staff Report](#)
- [Historic Survey](#)
- [Applicant Submittals](#)

Certificate of Appropriateness

BAR # 24-08-05

627 Cabell Avenue; TMP 050105000

Rugby Road, University Circle, Venable Neighborhood ADC District

Owners/Applicants: Neighborhood Investments, LLC/ Caleb Slabach, CEO Cornerstone General Contractors, LLC

Project: Construction of rear, two-story porch

Application components (please click each link to go directly to PDF page):

- [Staff Report](#)
- [Historic Survey](#)
- [Applicant Submittals](#)

BAR MINUTES
CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
Regular Meeting
May 21, 2024 – 5:00 PM
Hybrid Meeting (In person at City Space & virtual via Zoom)



Welcome to this Regular Monthly Meeting of the Charlottesville Board of Architectural Review (BAR). Due to the current public health emergency, this meeting is being held online via Zoom and in person at City Space. The meeting process will be as follows: For each item, staff will make a brief presentation followed by the applicant's presentation, after which members of the public will be allowed to speak. Speakers shall identify themselves and give their current address. Members of the public will have, for each case, up to three minutes to speak. Public comments should be limited to the BAR's jurisdiction; that is, regarding the exterior design of the building and site. Following the BAR's discussion, and before the vote, the applicant shall be allowed up to three minutes to respond, for the purpose of clarification. Thank you for participating.

Members Present: James Zehmer, Ron Bailey, Tyler Whitney, Carl Schwarz, Cheri Lewis, Roger Birle, Breck Gastinger, David Timmerman

Staff Present: Patrick Cory, Jeff Werner, Remy Trail

Pre-Meeting:

Staff did send out an email regarding summer vacations and having a quorum for each of the summer BAR meetings. Ms. Lewis asked a question earlier about the CoA application. A preliminary discussion is required under the code before proceeding to a formal CoA application. Staff did bring up that there is possibly going to be a glitch in the future with the new zoning code. According to staff, a CoA approval does not guarantee a building permit.

Ms. Lewis did have a concern about the CoA application for the mural when looking at the guidelines. Mr. Bailey brought up that previous mural applications have been presented to the BAR.

The Chairman called the meeting to order at 5:30 PM

A. Matters from the public not on the agenda.

No Public Comments

B. Consent Agenda (Note: Any consent agenda item may be pulled and moved to the regular agenda if a BAR member wishes to discuss it, or if any member of the public is present to comment on it. Pulled applications will be discussed at the beginning of the meeting.)

1. Meeting Minutes – April 16, 2024

Mr. Schwarz moved to have the 113 West Main Street project to the meeting agenda under New Items. The project was moved to the regular meeting agenda.

Mr. Schwarz moved to approve the rest of the Consent Agenda. Second by Ms. Lewis. Motion passes 7-0 with one abstention (Mr. Zehmer).

The project of 113 West Main Street was moved onto the agenda from the Consent Agenda.

C. Deferred Items

NA

D. New Items

2. Certificate of Appropriateness [Note: Approval of the Consent Agenda results in approval of the CoA as drafted in the staff report.]

BAR # 24-05-03

113 West Main Street, TMP 330259000

Downtown ADC District

Owner: West Mall LLC

Applicant: Adrienne Stronge/The Gaines Group, PLC

Project: Railing/fence at rear courtyard

Jeff Werner, Staff Report – Request CoA for fence/railing enclosure at the rear courtyard, facing Market Street.

Adrienne Stronge, Applicant – It is straightforward. Our owner wants to turn the unused courtyard, which is used for loading purposes, into something that his residents could use more often.

QUESTIONS FROM THE PUBLIC

No Questions from the Public

QUESTIONS FROM THE BOARD

Mr. Schwarz – What was your response on the distance from the fence to the wall to prevent trash from piling up in there?

Ms. Stronge – We are going to try and get it as close to the wall as possible. Initially, we wanted to try and set it above the wall. The wall has a lean. We are nervous about adding any stress there. The idea is to remove the bottom board with this fence system. It can customize the distance between the rails. We can leave a rail off. It is customizable, which is why we wanted to go with this one for maintenance purposes. We will leave that bottom free enough to be able to get a broom or rake underneath.

Mr. Schwarz – How did you determine where to start the switch from the lower height fence to the 6-foot fence?

Ms. Stronge – I tried to keep that back so there is a visual connection at the pedestrian level. The higher fence was just to give the residents a sense of that warmth, the security of sitting against a higher wall. We wanted to step it down as we got closer to the sidewalk. There is some visual connection there. We were operating off the standard distance for that system.

Mr. Schwarz – Is the retaining wall about the same height all the way through? Is that correct? It looks like it is a little taller towards your building.

Ms. Stronge – It is about the same height. It has been leaning at that same angle for about 14 years. I think it is going to stay there if we don't add anything to it.

Ms. Lewis – You have a pedestrian opening on the left where you have the boards. You have a ‘utilitarian cattle gate.’ Is that still for loading?

Ms. Stronge – We still must be able to let residents load and unload. The maintenance team does use that gate to get their vehicle up when necessary. It is a not a frequent occurrence. It is enough that we needed that vehicular size there. It would swing into the courtyard.

Mr. Gastinger – I don’t know if I followed the whole conversation about painted versus unpainted. What is the proposal currently?

Ms. Stronge – The original proposal was unpainted. We came back with painting it to pull in that color from the mural.

COMMENTS FROM THE PUBLIC

No Comments from the Public

COMMENTS FROM THE BOARD

Mr. Schwarz – For the painted/unpainted, I think I figured out where some of the confusion is. Under Section 3 (materials and textures), it talks about ‘all exterior trim, woodwork, decking, and flooring must be painted or stained solid.’ It doesn’t mention fences. It mentions woodwork. I am not sure if that is how that whole precedent was slipped in here. It is a downtown urban area. The paint makes more sense to me than leaving it unfinished to weather. I know there is precedent for some weathered wood out there. It is more appropriate to paint it. I am struggling with the idea that it is a 6-foot-tall fence in a front yard. I know it is not facing the front. The transparency that is shown is great. If this was a house on Park Street, we wouldn’t allow this until it gets back behind the front of the house. I see that you are pulling back where the 6-foot starts. That is what has me torn. I understand the reason for it. I understand why the description you provided for the maintenance of any trash that might slip under there. Am I the only one that has a holdup on the 6-foot fence that is sticking out into Market Street?

Mr. Werner – I couldn’t help but think of it in that one section of the guidelines, the rear buildings. It is again something to add to our design guidelines discussion. We have other situations like this.

Ms. Stronge – Given that on the other side of the retaining wall, it will only be about 4 feet tall. It wouldn’t provide the same security for the residents there. That retaining wall is retaining grade there.

Mr. Gastinger – The shrubs that are to remain there are 6 feet tall now.

Mr. Zehmer – In the walls and fences guidelines, fences should not exceed 6 feet in height in the side and rear yards. There is an argument that this is a rear yard.

Mr. Schwarz – I am not going to ‘kill’ this thing. I want to raise that point. This is a front yard. It is a double front yard.

Mr. Gastinger – My issue was the little segment that is not doing anything on the street. I didn’t know if that was functionally necessary. It seems a little vulnerable. I could see a design argument. From an urbanistically view, it is not helping anything.

Ms. Lewis – Is there any reason why you didn’t bring that out to the street or to the right-of-way?

Ms. Stronge – It was more so that there is a place if the vehicle must pull in. Somebody is going to have to open the gate. They would pull along the street.

Mr. Zehmer – Why do you have that extra section?

Ms. Stronge – It was to bring it out to the sidewalk. It is getting the fence cohesively to run from the building to the sidewalk.

Mr. Bailey – It is aesthetically better.

Motion – Mr. Bailey – Having considered the standards set forth within the City Code, including the Design Guidelines for ADC Districts, I move to find that the proposed fence/railing at 113 West Main Street satisfies the BAR’s criteria and is compatible with this property and other properties in the Downtown ADC District, and that the BAR approves the application as submitted with the condition the wood planks be either painted or have an opaque stain, with the color to be OK’d by staff. Second by Mr. Birle. Motion passes 8-0.

3. Certificate of Appropriateness Application

BAR # 24-05-01

207 14th Street, NW; TMP 090070100

Rugby Rd-University Cir-Venable ADC District (non-contributing)

Owner: University Hotel Management LLC

Applicant: Jim Shideler

Project: Mural on east elevation

Jeff Werner, Staff Report – Request CoA for a painted mural (within area of approximately 8-ft x 8-ft) on the east elevation, facing 14th Street.

Jim Shideler, Applicant – We are looking to put a decorative mural on the stark space of the building to bring color to the building into the area. We are working with the Charlottesville Mural Project to do that. The cost is going to be anywhere from \$8,000 to \$15,000 depending on the design. From our perspective, we are wanting to try to get approval that a mural can go on there before we start the design work with them. That way we can bring the design back to you before having it painted and if there are any adjustments that need to be made.

QUESTIONS FROM THE PUBLIC

No Questions from the Public

QUESTIONS FROM THE BOARD

Ms. Lewis – Can you give us any idea about what you are thinking about?

Mr. Shideler – There is no political message or anything that could be perceived as anything. It is a hotel. It is a mid-century modern design. The theming throughout the guest rooms, the color schemes and design would be something that would tie into the field of the 60s. It would not have any wording on it or anything that could be construed as signage or anything like that.

Mr. Timmerman – Do you have a size in mind?

Mr. Shideler – Based on the space, we are looking at roughly an 8-by-8-foot section.

Mr. Werner – It would be helpful if there is a space, there are alignments, there is a scale/ratio that you feel should be established for where artwork could go. That would be helpful in their process.

Mr. Zehmer – The staff report has done a good job of calling out/not marring any architectural features on the façade there. It is a fine place for a mural. There are several of us that feel we should see the content before we can make an official final ruling. The process would be that you request a deferral. That gives you plenty of time to get that design done before you bring it back to us. If we ask to defer it, you have one month to get that turned around.

Mr. Schwarz – The way the staff report is marked out, places that you are not going to touch with the mural, I don't see that you could have any possible way of this being problematic. This seems guaranteed. I would love to see us loosen up our guidelines on murals. It is more interesting if it interacts with the architecture, wraps the corners, and touches the windows.

Ms. Lewis – I would love to see it wrap the corner and be on 2 facades. You have white space on the other side. I was thinking of some creative thing where you see one thing on the front side, and it tricks one on the second façade. There is a lot of white space on the other façade. I wouldn't want to hamper you. You have a lot of white space. It would be cool to use it in a creative way. If you wanted a piece of art hung up there, you would put a piece of art up. A mural is quite different.

Mr. Birle – I agree with Ms. Lewis. I don't think we want to limit you to these 8-by-8 dimensions. I want to give the artist some flexibility.

Mr. Shideler – The main point of this is to make sure a mural will be permitted, and then come back with a design for approval from that. That helps with the creativity from the artist by not being limited to the 8-by-8. It gives them more space.

Mr. Gastinger – This is a great space for a mural. Looking at the street view, I think the façade further to the north on the right-hand side of the building is opaque. It seems a mural could help enliven that.

Mr. Shideler – The left part is more visible. That tree does hang in front of the right side of the building.

Ms. Lewis – Is the mipod always like that?

Mr. Werner – That was where it was originally placed. The fire marshal said we were too close to the building next door.

Ms. Lewis – It is now perpendicular to the building a little.

Mr. Shideler – It is parallel to the frontage of the building.

Mr. Werner – In Cincinnati, the artwork on the walls is fascinating. I agree with you all. We should allow more and encourage more. The only thing I would ask is that if in helping the applicant in the conversation with the artist if there is anything there that you want to remove, you could now address that.

Mr. Schwarz – The safe answer is to look at that note.

Mr. Zehmer – There is Section J in Chapter 6 that is pertinent section in our guidelines to look at. One guideline that got my attention was 'painting directly onto the walls of a non-contributing building will be

considered on a case-by-case basis. This is a non-contributing building. We are going to look at it on a case-by-case basis. From what I am hearing, it is going to give you plenty of freedom to do what you would like to do. There is some sentiment that this would be a great contributing building to the district. It is currently not a contributing building. That plays in your favor.

Ms. Lewis – The belt course could be used as part of the mural in a contrasting color. That is what we are saying. We don't want it to disappear. I would not necessarily say that the mural must be limited to the area below. It would be cool to use that as some sort of framing or some part of the mural. I don't if I would want it to be painted over. It would then disappear. It is a significant feature. I would not say that you must stay away from it. You have a lot of space.

Mr. Timmerman – I want to commend you on what you have done so far. Looking at the before and after, it is worth saying that you have treated this with sensitivity, grace, and simplicity that adds to the street. You are capable in what you have done so far to show us something that we will be excited about in the next turn.

Mr. Werner – Getting it on the register, whether contributing or not, getting it listed and that eligibility for rehab tax credits is one of the things that I would like to see. Does that give you the clarity?

Mr. Shideler – I think so. I am being told that we can. We will submit the art for review prior to moving forward.

Mr. Zehmer – Does anybody have hard objections to a mural at this location? (Mr. Zehmer did an informal straw poll. There was strong support for the mural). The BAR is an open public meeting. We need to make sure we provide that forum for the public to comment on these things. You are getting good feedback from the people sitting up here. Once you bring it before us, there will be an opportunity for the public to speak.

COMMENTS FROM THE PUBLIC

No Comments from the Public

COMMENTS FROM THE BOARD

Mr. Shidiler – I would like to request a deferral.

Ms. Lewis moves to accept the deferral request from the applicant. Second by Mr. Bailey. Motion passes 8-0.

4. Certificate of Appropriateness Application

BAR # 24-05-02

130 Madison Lane, TMP 090138000

The Corner ADC District

Owner: St Elmo Club of UVA INC

Applicant: Kevin Schafer / Design Develop

Project: Install door at dormer window, above west portico

Jeff Werner, Staff Report – Request CoA for Alterations to the west [front] and east [rear] elevations.

Bob Pinero, Applicant – We are here today to discuss the required path of egress from the portico roof. A significant amount of relevant work has already been done on the roof of the portico to ensure its longevity and protect the occupants. It is relative enough that we would like to take a moment to review the work already performed and get into the next natural evolution.

Next Slide

This project has come to us organically. It started as a ‘triage.’ We have some significant rot. It is an unsafe situation. On July 7, 2022, we were called by concerned members of the St. Elmo Board regarding the state of the portico roof. At the subsequent site visit, significant amounts of rot were discovered through extensive water infiltration of the existing rubber roof. Images on the screen here show the extent of damage to the roof. Most concerning in this scenario was the failure of the railing attachments. The portico roof was immediately closed by the board to all unauthorized occupants.

Next Slide

A follow-up site visit on July 13th with Dunbar Engineering involved careful, selective demolition of the portico ceiling to better analyze the state of the joists. Water infiltration was discovered along the porch beam and some degradation of the original historic joists. This degradation was not as severe as the roof sheathing and sleepers that compromised the upper layer of the roof. It was noteworthy enough to require reinforcing of the historical structural elements, the joist, and the beam.

Next Slide

Dunbar Engineering proceeded with the design that would immediately address the existing conditions. This maintenance project to stabilize and reinforce the historic roof was performed over the summer of 2022. With the roof open, the St. Elmo Board opted, at the time, to design for an assembly use loads and code compliant horizontal loading on the guard rail to ensure the safest, most accident resistant rooftop portico.

Next Slide

It is no secret that the residents of student housing along Madison Lane often occupy areas not authorized for use or occupancy. Acknowledging this fact, we as architects and engineers with the support of the St. Elmo Board have the ethical and professional requirement to plan for and design with this in mind and make this space as safe as possible. The proposal in front of you outlines the next steps in doing so by making code compliant egress from the portico rooftop.

Next Slide

The proposal outlines 2 ways of ensuring safe egress. We have a 3D Point Cloud Scanner. It is a digital duplicate. It allows us in interior spaces, exterior spaces, and floor elevations. We know what the existing conditions are. We know how to design to it. There is that level of review. We scan the entire building and all the roof structures. The proposal outlines 2 ways ensuring safe egress must occur. The first is through creating a code compliant egress door from the portico roof. To ensure the correctness of the proposed design, we utilize our 3D Point Cloud Scanner to understand the exact elevations of both the interior floor level and the exterior roof level. By understanding these elevations, we can confidently propose a solution that lowers the elevation of the roof by about 10 inches while still retaining the historic joist and the original trim from the existing portico. Code compliance requires a 3-foot platform on either side of the door. That is why lowering the roof helped.

Next Slide

The new egress door will be custom fabricated from wood and made to match the existing adjacent historic windows. The introduction of the egress door does not require altering the shape or form of the original dormer. We aim to merely lower the sill of the existing opening grill patterns and profiles. The grill patterns and profiles will match the adjacent historic windows and jam trim that matches the existing profiles will extend down to the lower roof deck. Code compliant lighting at a door at an egress path will tactfully be placed at the sides of the roof cutout.

Next Slide

It should be noted that the existing central dormer window is not original and was replaced twice between 2008 and today. A metal French casement window is currently in the opening. The image below highlights the difference between the original opening and the metal replacement window.

Next Slide

The lowering does drop the elevation of the waterproof membrane below the adjacent gutter line requiring us to propose 2 new copper downspouts behind the existing portico columns. These downspouts and scuppers will match the existing original downspouts found on the exterior corners.

Next Slide

This image of the existing conditions and the others provided in the submittal booklet show how the alterations will have minimal to no impact from a pedestrian perspective as an existing curve on the top of the portico conceals the view of the roof.

Next Slide

The second requirement for making the portico roof code compliant occupiable space is the introduction of an exterior egress stair on the rear façade and contained with the existing walled courtyard. To access the stairs, this proposal outlines lowering the sill of an existing window opening. The width of the masonry opening can remain as is. A new custom wood door, intended to replicate the look of the adjacent original windows by replacing jam and header trim profiles, grill trim locations and profile and feature a solid 2-panel section below.

Next Slide

As staff mentioned in 2008, the BAR reviewed and approved changing windows to doors on the rear elevation of this building. This approach is not without precedent. It was also imperative for us to avoid the large blading window, which this proposal accomplishes.

Next Slide

The overarching message of this presentation is life safety. How can we create a code compliant path of egress from this roof to officially be considered an occupiable space? Life safety cannot be the only criteria for design in a house of this historic prominence and contextual importance. Recognizing the significance of the district and the structure, the proposal has gone to great lengths to ensure a historically compatible and contextually sensitive intervention that meets our egress requirements. We want this building to be safely used. We also want it to last another 200 years. We aim for it to continue to be an important stitch in the fabric of The Corner ADC District. St. Elmo's Board should be commended for their proactive approach. The Board has left no stone unturned when it comes to encouraging us to explore the solutions to the challenge at hand.

Next Slide

Despite this being the first time in front of the Board, we would like to request a vote, if possible, to allow the construction of this project to proceed this summer while students are away.

QUESTIONS FROM THE PUBLIC

No Questions from the Public

QUESTIONS FROM THE BOARD

Mr. Whitney – What is the material of the floor if the balcony?

Ms. Henebery – That would be a 2-inch rubber tile.

Mr. Birle – Is that existing?

Ms. Henebery – Currently, there are wooden deck tiles.

Mr. Birle – I have a constructional question about the slate that you are adding. You are adding a course of slate at the bottom.

Ms. Henebery – We are removing the slate below the central window.

Mr. Birle – What is going to happen to the existing slate? Does it need to be removed? How much needs to be removed?

Mr. Zehmer – The slate that is on there now came before us a couple years ago. It is synthetic slate. Usually, you start at the bottom and work your way up.

Mr. Timmerman – Does the building currently function with just one stair? What is the purpose for the exterior rear egress stair?

Mr. Pinero – It is to make this code compliant because of the load of that and the capacity to be able to get out. We need 2 forms of egress because of the occupancy load of this porch.

Mr. Schwarz – On the front of the building, the only visible change we are going to see are the 2 copper downspouts.

Mr. Pinero – Basically. With the sill detail on the door, you won't be able to see it. It is high up. There is a curve that goes around. It is historic. You can see it in that picture. It mirrors the portico columns. It jumps up and moves. That is why the railing goes with it. It is a historical piece from the original portico design.

COMMENTS FROM THE PUBLIC

No Comments from the Public

COMMENTS FROM THE BOARD

Motion – Ms. Lewis – Having considered the standards set forth within the City Code, including City's ADC District Design Guidelines, I move to find that the proposed alterations to the west and east elevations at 130 Madison Lane satisfies the BAR's criteria and is compatible with this district and that the BAR approves the application as submitted. Second by Mr. Zehmer. Motion passes 8-0.

E. Other Business

5. Preliminary Discussion – Certificate of Appropriateness

NE corner of Wertland and 10th Street, NW

TMP 100037000, 100038000, 100039000, 100053000 (partial)

West Main Street ADC District

Owner/Applicant: UVA Foundation

Project: Multi-story, residential building

- Staff introduced the project to the BAR. This project is being pursued by the UVA Real Estate Foundation.
- There are grant funds associated with this proposed project.
- There are tree canopy requirements and open space requirements that are a part of the new development code that will be part of this project.

- The BAR cannot vote on separate CoA applications on height, massing, etc.
- Staff did ask that the applicant make a formal application submittal for the next submission. Most of the project is not in the historic district.
- Mr. Whitney did recuse himself from the preliminary discussion due to a conflict of interest in being an employee of the designer of this project.
- There are 4 properties that are going to be combined to make up the project site. The size of the project site is a little over 2 acres.
- Under the new zoning ordinance, the project site is zoned CX-8. There is some residential around the site.
- The proposal for the project is to be 6 stories even though 11 stories are allowed. There is no density limit for this site.
- There would be retail bays and garage entrance on the 10th Street side with the rest of the building being residential.
- There were 3 questions posed by the applicant for the BAR deliberations:
 - Should precedents from the Wertland ADC or Coca-Cola Building be considered equal to or stronger influences than our ADC designation?
 - What historical cues or architectural principles found in the surrounding ADCs and neighborhood do you see as most critical to the design and development of this site?
 - Are you able to identify any exemplary pedestrian experiences in the surrounding area that should be considered as precedents for this site?
- There is an Individually Protected Property directly across the street from the project site.
- The applicant did present what the proposed height and massing for the project site might look like.
- Members of the BAR did provide feedback and suggestions as to what could be done to further improve this proposed project.
- Mr. Gastinger did bring up the importance of the project site and 10th Street and Wertland Avenue.
- Mr. Zehmer brought up the placement of the parking on Wertland Street and the potential for traffic congestion entering onto 10th Street.
- Several members of the BAR did bring up the potential traffic congestion that could be a consequence of the garage entrance being on 10th Street.

6. Staff questions/discussion

- Two BAR vacancies: business/commercial property owner (now) and licensed architect (after July).
- Administrative approval May 8. 115 East High Street. VDHR Rehab Tax Credit Project.
- 605 16th Street NW, c1990s brick wall. Repairs necessary to cap, cannot match brick: is a stone or concrete cap acceptable?

7. Design Guidelines – Continue Discussion

Adjournment

The meeting was adjourned at 8:10 PM

**City of Charlottesville
Board of Architectural Review
Staff Report
August 20, 2024**



Certificate of Appropriateness

BAR # 24-08-01

0 Park Street, Tax Map Parcel 520051000

(Rear parcel at 745 Park Street)

North Downtown ADC District

Owners/Applicants: Karen Vajda and Kevin Riddle

Project: New house. [CoA approved March 2024. Design has been modified.]



Background (For 745 Park Street, 0 Park Street is vacant.)

Year Built: 1957

District: North Downtown ADC District

Status: Contributing

Brick, stretcher bond; 1-1/2 stories; gable roof (composition); 3 bays. Detached house, 1950s-60s. Entrance in center bay. Exterior end chimney on north, single ramp.

Prior BAR Actions

November 2021 – BAR approved CoA for demolition of the 1957 house.

February 21, 2024 – Preliminary discussion re: proposed new dwelling.

March 19, 2024 - BAR approved (8-0) CoA for new house. (Meeting minutes in Appendix.)

Applicant Request

- Submittal: Office Riddle drawings for *West House, 745 Park Street*, dated Feb. 27, 2024: Cover with sheets A2 through A16, and A21.

Request for CoA to construct a new dwelling. Applicant proposes modifications to the design approved in March 2024. (See Appendix for comparison of prior and current designs. Complete drawings for the current request and the March 2024 CoA are attached.)

Discussion and Recommendations

The design has not changed significantly (see Appendix); however, it has been revised enough that staff felt it appropriate to allow the BAR to review it. Staff recommends approval of the request as presented.

From Chapter of the ADC District Design Guideline

North Downtown ADC District: Adjacent to the Albemarle County Courthouse and laid out according to the 1762 town grid, this area served as the city's first civic, religious, and commercial center. Thomas Jefferson, James Monroe and James Madison were frequent visitors to the Court Square area. Park Street residences built in the late eighteenth century for lawyers, judges and other professionals still retain their architectural integrity. Today, this district represents the socio-economic and architectural evolution of the original town.

Subarea a. Park Street: residential, large scale, mixture of styles, brick, red/white, porches, dark metal and slate roofs, rich rooflines, 2 to 2 and 1/2 stories, large lots with deep setbacks and spacing, extensive landscaping, stone walls, shallow setbacks and spacing, small signs.



Suggested Motion

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the new dwelling at 0 Park Street [at the rear of 745 Park Street] satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR [approves the request].

Or [approves the request with the following conditions: ...]

Criteria, Standards and Guidelines

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.

- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Re: building height. Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

Links to ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

Appendix:

**BAR Meeting Minutes (Excerpt 0 Park Street)
City of Charlottesville
Board of Architectural Review Regular Meeting
March 19, 2024**

Members Present: Cheri Lewis, Tyler Whitney, Ron Bailey, Carl Schwarz, Roger Birle, Breck Gastinger, James Zehmer, David Timmerman

Certificate of Appropriateness Application

BAR 24-03-02

0 Park Street, Tax Parcel 520051000 (Parcel at rear of 745 Park Street)

North Downtown ADC District

Owners/Applicants: Karen Vadjia and Kevin Riddle

Project: New house

Jeff Werner, Staff Report – Request for CoA to construct a new dwelling.

Kevin Riddle, Applicant – Nothing has changed from [Feb prelim discussion]. [...] modest structure. [...] far from public right of way. [...] not touching [1957 house].

Questions From The Public (n/a)

Questions From The Board

Mr. Schwarz – There is an indication of a future phase for a walkway and a future phase for a parking apron. Are we Ok to say that is all right? Do they need to come back for that?

Mr. Werner – When something says ‘future,’ that is the future. The discussion at the preliminary discussion was that everything was going to stay. There was no new driveway, or anything being added. I am comfortable with you clarifying that those are in the future.

Mr. Schwarz – It would be silly if they had to come back.

Mr. Werner – I would suggest that you use the suggested condition from 712 Ridge Street about paving material.

Mr. Riddle – We would not mind coming back with more information about those 2 things. We haven’t done any design work on them yet.

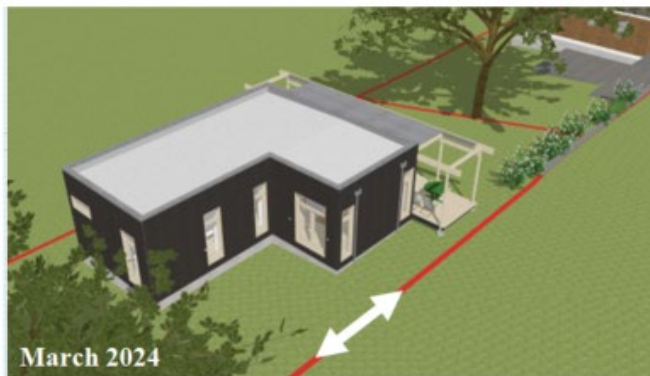
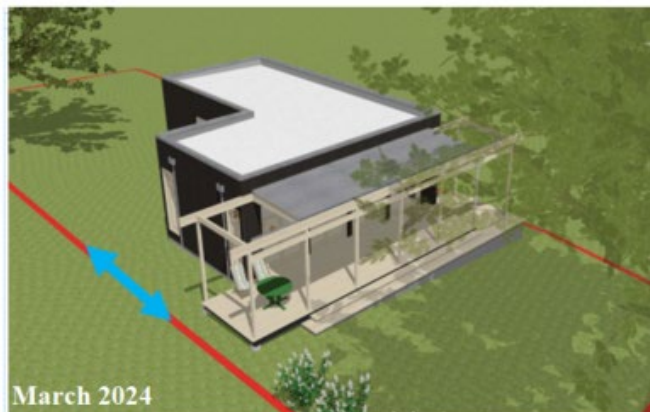
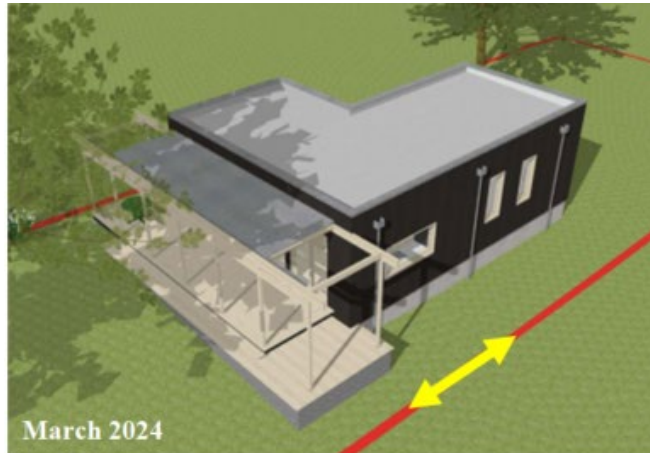
Comments From The Public (n/a)

Comments From The Board

Motion – Mr. Birle – Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the new dwelling at 0 Park Street [at the rear of 745 Park Street] satisfies the BAR’s criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the request.

Second by Ms. Lewis. Motion passes 8-0.

Modifications to the March 2024 design.
(Option with pool not shown. Arrows added to assist with orientation.)



PROJECT SUMMARY

Construction of new one-story house in Charlottesville, Virginia	
Existing house to remain.	
Existing Site Area: 0.429 acres (18,703 sf)	
Drawings included here are concept level. They contain the minimum detail necessary to define the size, massing and general scope of the project. They are intended for an estimate of construction costs.	
Surveys are included. The property includes two parcels. These will likely be consolidated before financing and construction. The new structure will be located on the undeveloped parcel behind— west of— 745 Park Street.	
Floor Areas	
New Construction	
1,000 sf +/-	1 bedroom, 1 1/2 baths in one story Wood frame on concrete or cmu foundation with metal roof
650 sf +/-	Porch Wood deck on treated wood frame on concrete sonotube footings. Pergola framed in wood or anodized aluminum
Later Phase	
12' x 28'	Swimming Pool
480 sf +/-	Pool Patio Stone or tile on grade + necessary retaining walls

CONCEPT PRICING NOTES

OBJECTIVE
To provide the owners with an estimate of construction costs.
PROCESS
Provide any questions to the owners.



CONTENTS

Cover Page	
Surveys	A2
Site Plan	A3
Footings/Foundation Plan	A4
Framing Plan	A5
First Floor Plan	A6
Elevations	A7
Elevations	A8
Sections	A9
Existing House Photos	A10
Birdseye Views	A11
Birdseye Views - Phase 2 (pool)	A12
Interior Scenes from Model	A13
Exterior Illustration	A14
Basic Dimensions	A15
Electric Plan	A16
Interior Elevations - Bathroom	A17
Interior Perspectives - Bathroom	A18
Interior Elevations - Powder Room	A19
Interior Elevations - Kitchen	A20
Window/Door /Counter Schedules	A21

OWNERS

Kevin & Karen Riddle
745 Park Street
Charlottesville, Virginia 22902
434 . 882 . 3145



OFFICE
RIDDLE
434 . 882 . 1345

06-24-2024

TMP 52-53
First Baptist Church
of Charlottesville, Va.
Inst. # 2017-4614



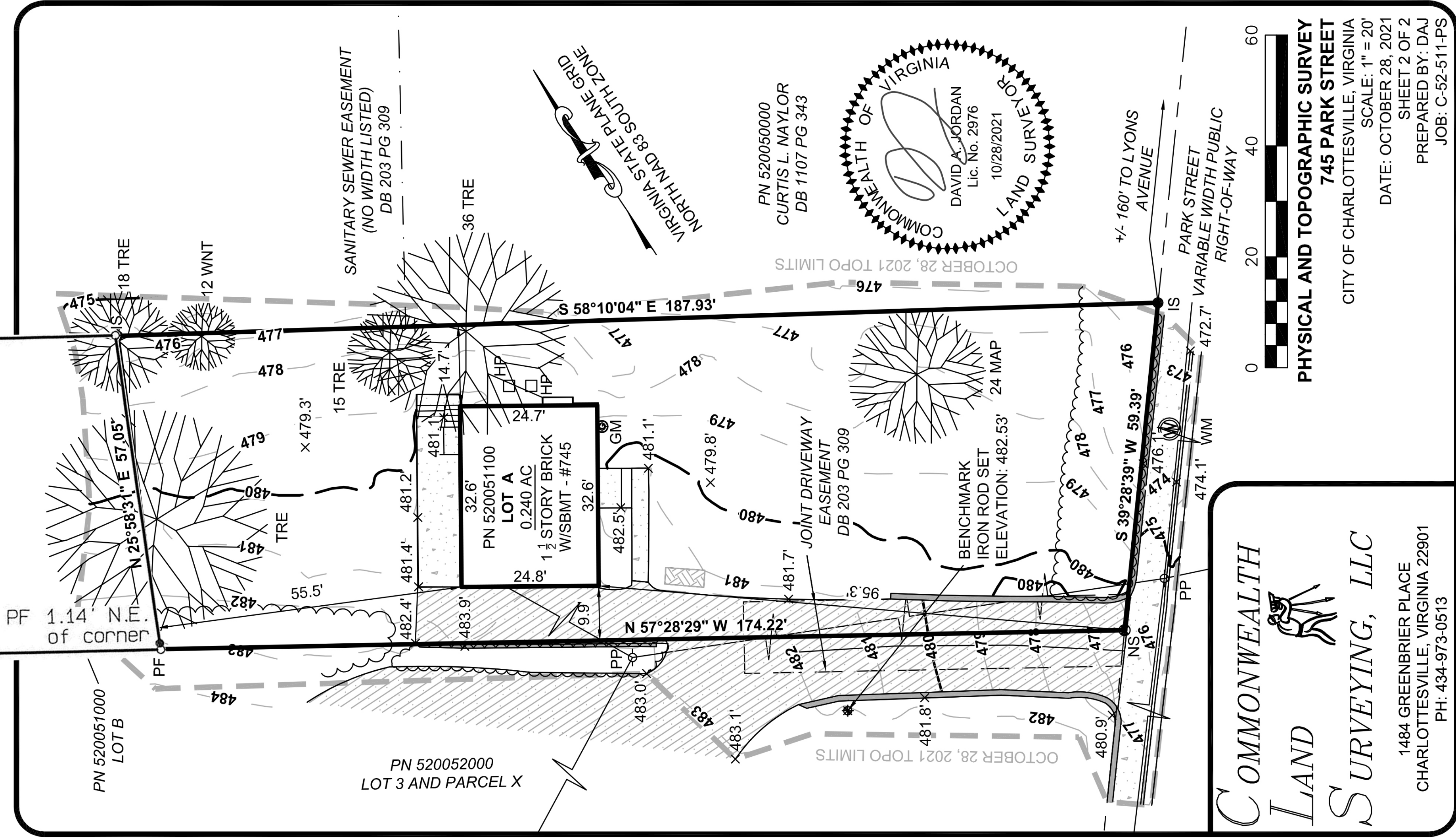
This plat was prepared for:
Kevin S. & Karen Vajda Riddle

Betty C. Batten, Angelina Dennis
& Linda Burnett
Inst. # 2021-0114

Amita F. & Aaron M. Sudhir
Inst. # 2018-3393

Lot "B"
8,554 Sq. Ft.

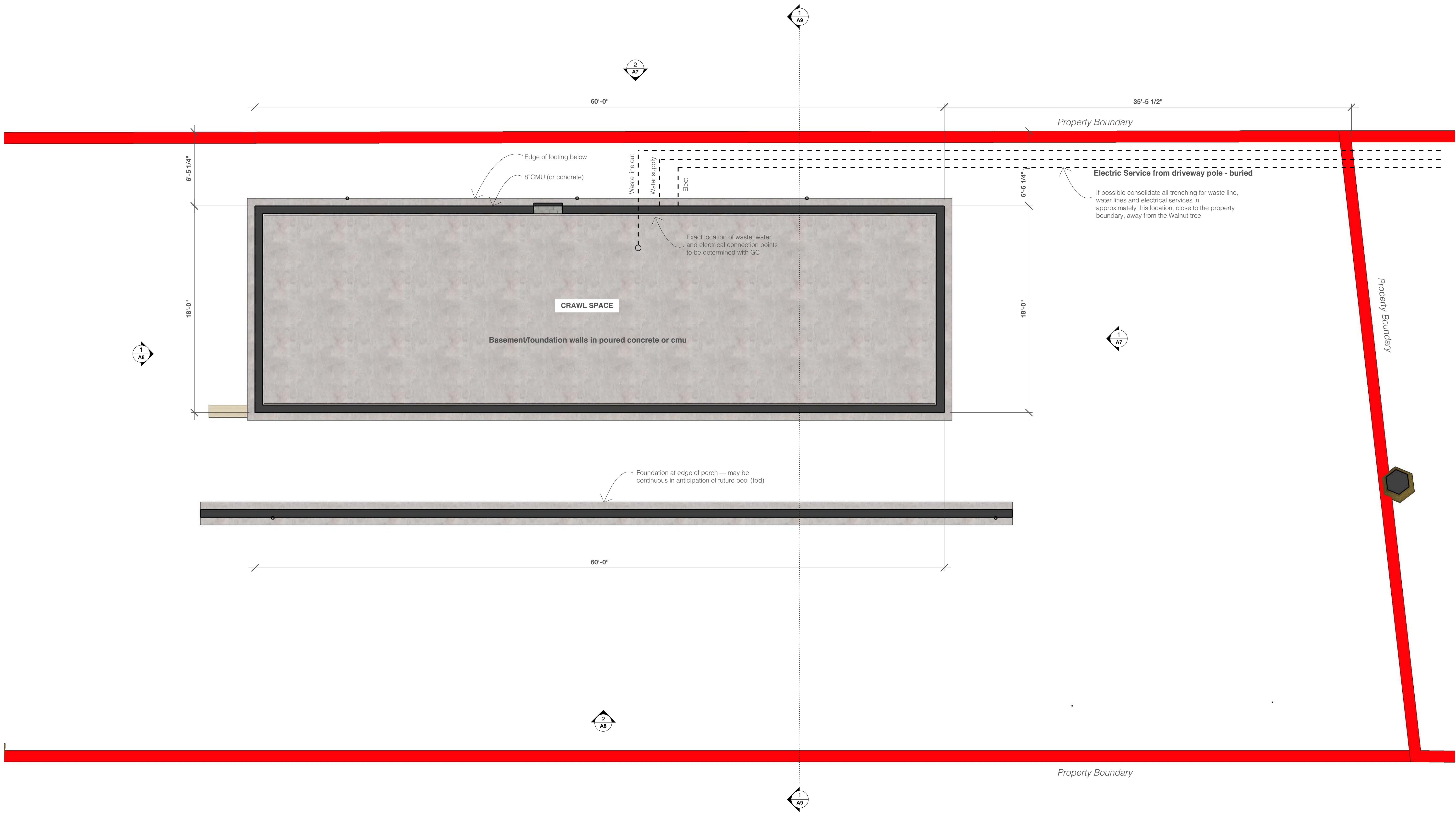
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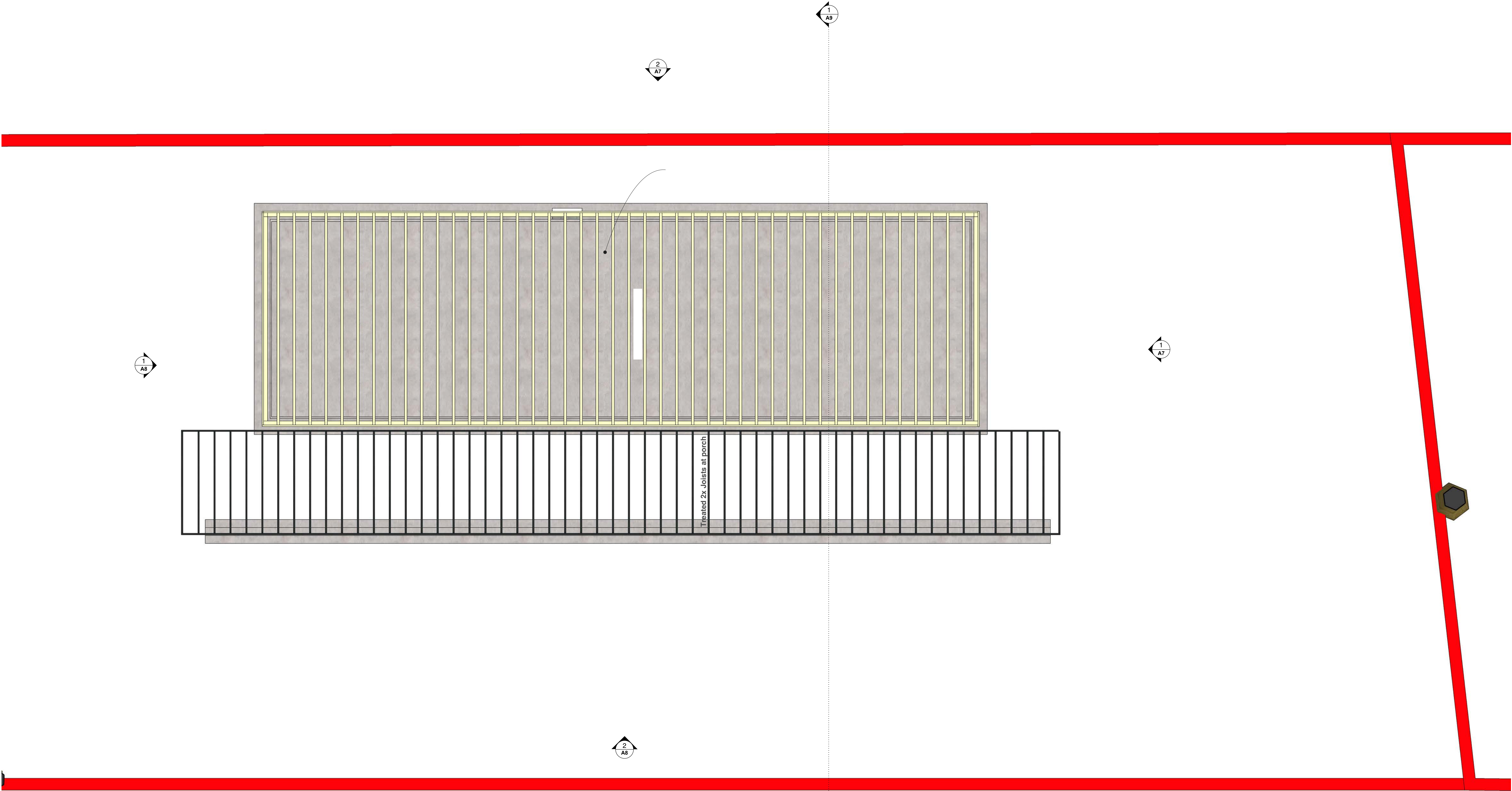


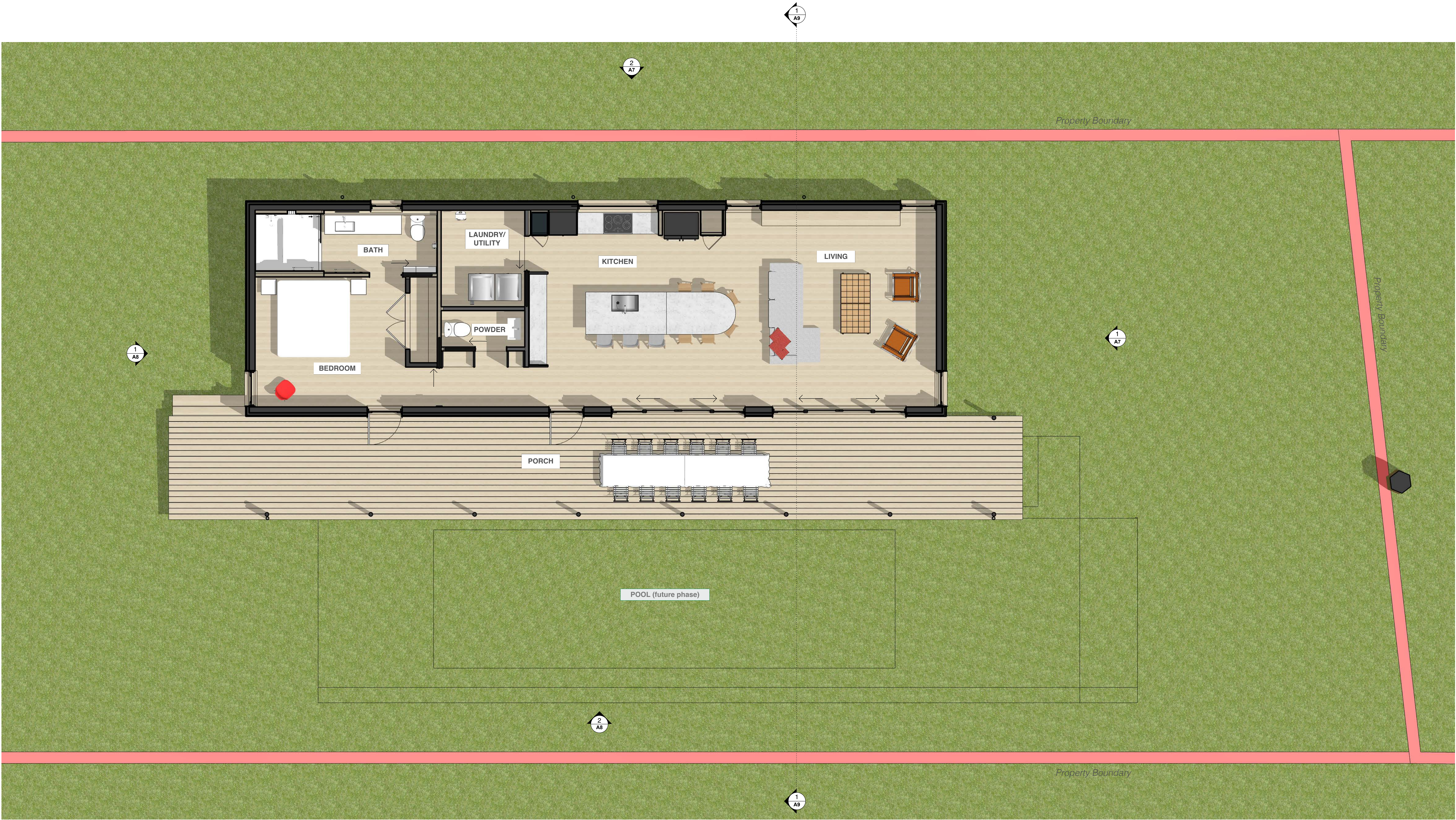
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1 Site
A3 Scale: 3/32" = 1'







KITCHEN / LIVING / BEDROOM

- FLOOR 3/4" t&g solid hardwood— nail down over 15 lb. felt paper and t&g plywood subfloor
- WALLS (int) 1/2" Gypsum Board, painted
- WALLS (int) Painted poplar at kitchen cabinets, island and pantries
- CEILING 1/2" Gypsum Board, painted

BATH / POWDER

- FLOOR Tile (ceramic or stone) on substrate
- WALLS (int) 1/2" Gypsum Board, painted
- CEILING 1/2" Gypsum Board, painted

PORCH

- DECKING 5/4" hardwood decking on treated 2x10 joists @ 24" OC (species: black locust, sassafras or similar)
- PERGOLA COLUMNS & BEAMS Wood to match exterior siding (Alternative: galvanized aluminum)



1 **Elevation - East**
A7 Scale: 1/4" = 1'-0"



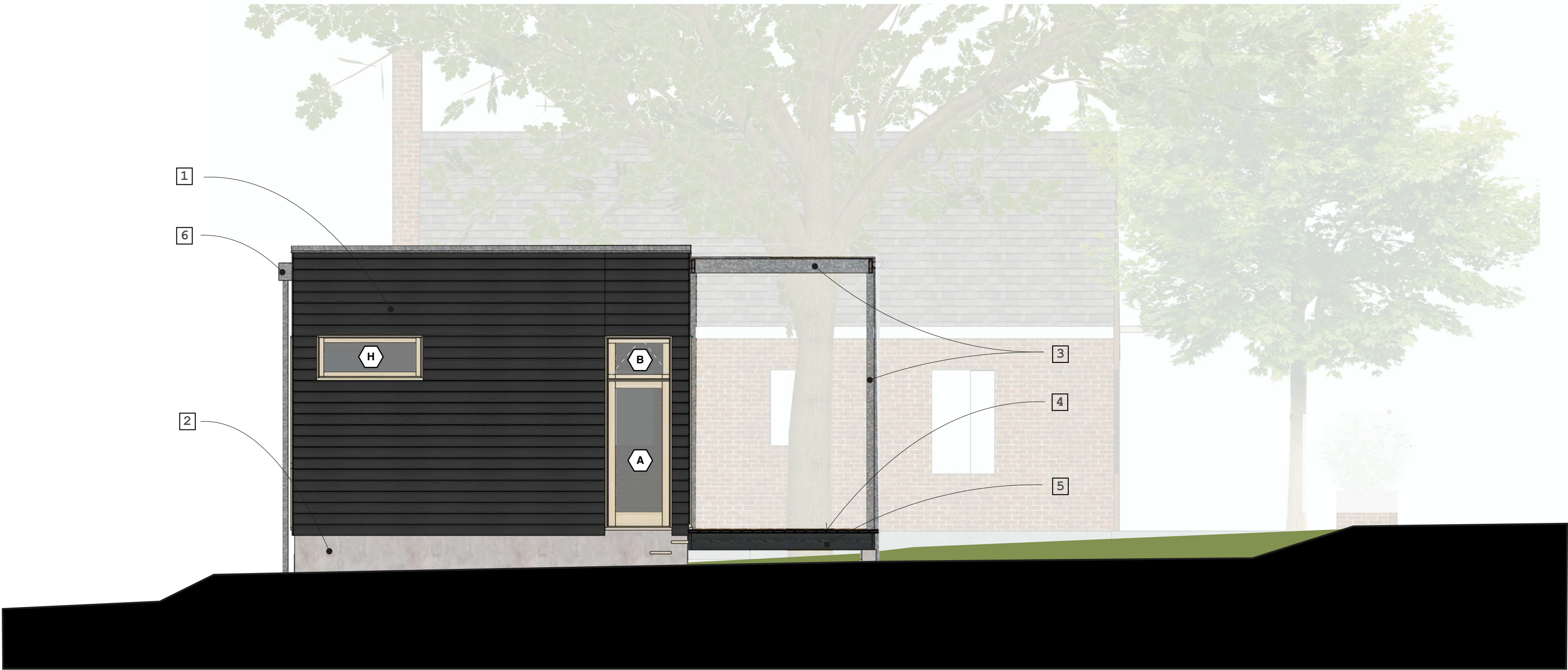
2 **Elevation - North**
A7 Scale: 1/4" = 1'-0"

KEYNOTES

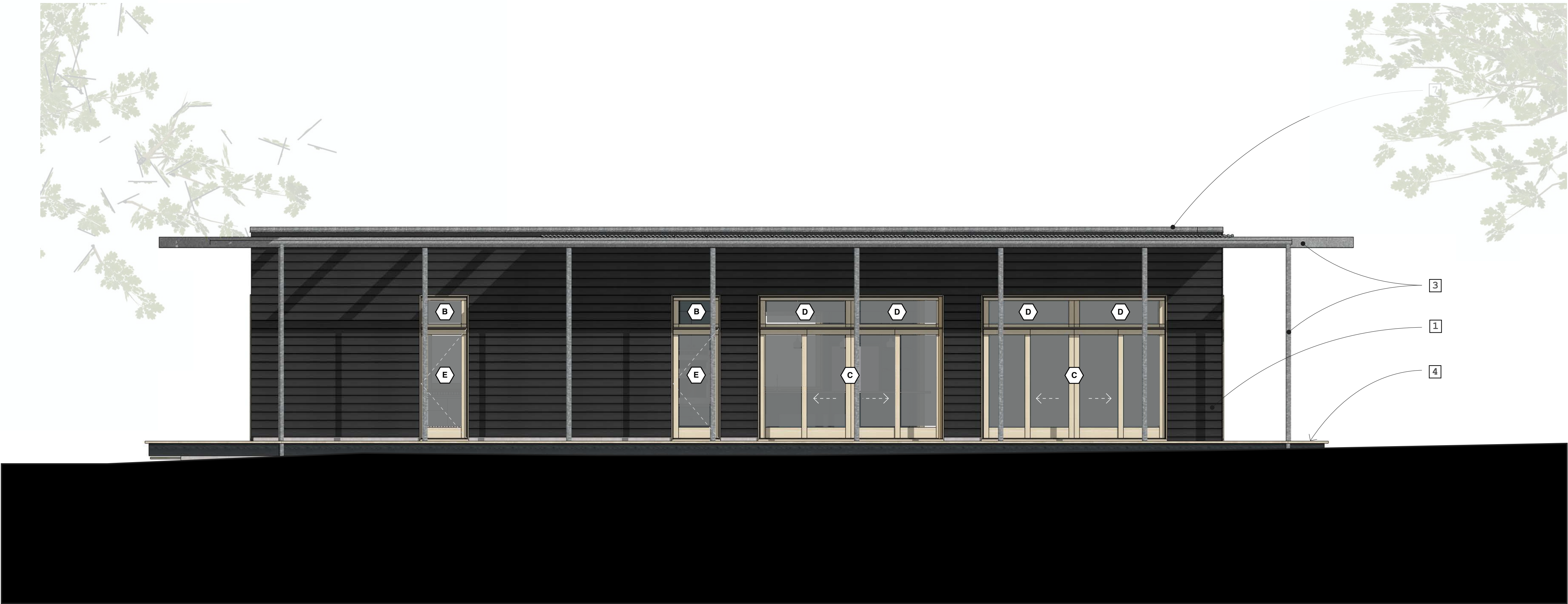
- 1** Shiplap siding, two options:
Preferred option: 3-coat clear finish or color stain on 1x6 fir
Alternative if savings warrant: Fibercement siding in dark gray (James Hardie Artisan or similar)
- 2** Fibercement protection board or Parging system over foundation
- 3** Porch framing — galvanized metal
- 4** porch deck — 3-part clear coat finish on wood (species: 5/4 black locust, white oak or alternative)
- 5** 2x pressure treated framing
- 6** Galvanized collection box + round galvanized downspout
- 7** Metal coping at parapet
- 8** 30" x 30" Insulated Access Door to Crawl (may be necessary to provide access well— verify grades)

KEYNOTES

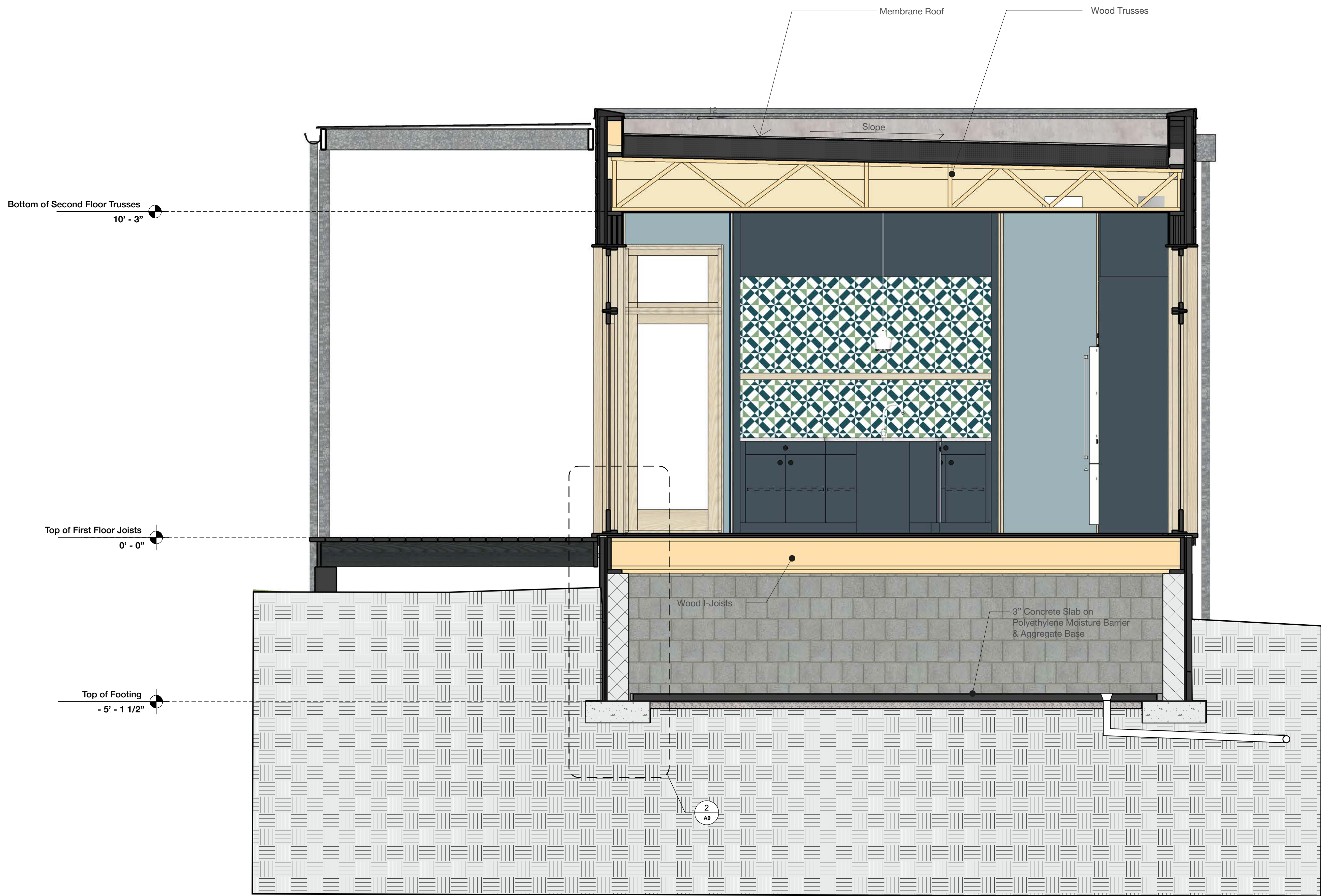
- 1 Shiplap siding, two options:
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- 5 2x pressure treated framing
- 6 Galvanized collection box + round galvanized downspout
- 7 Metal coping at parapet



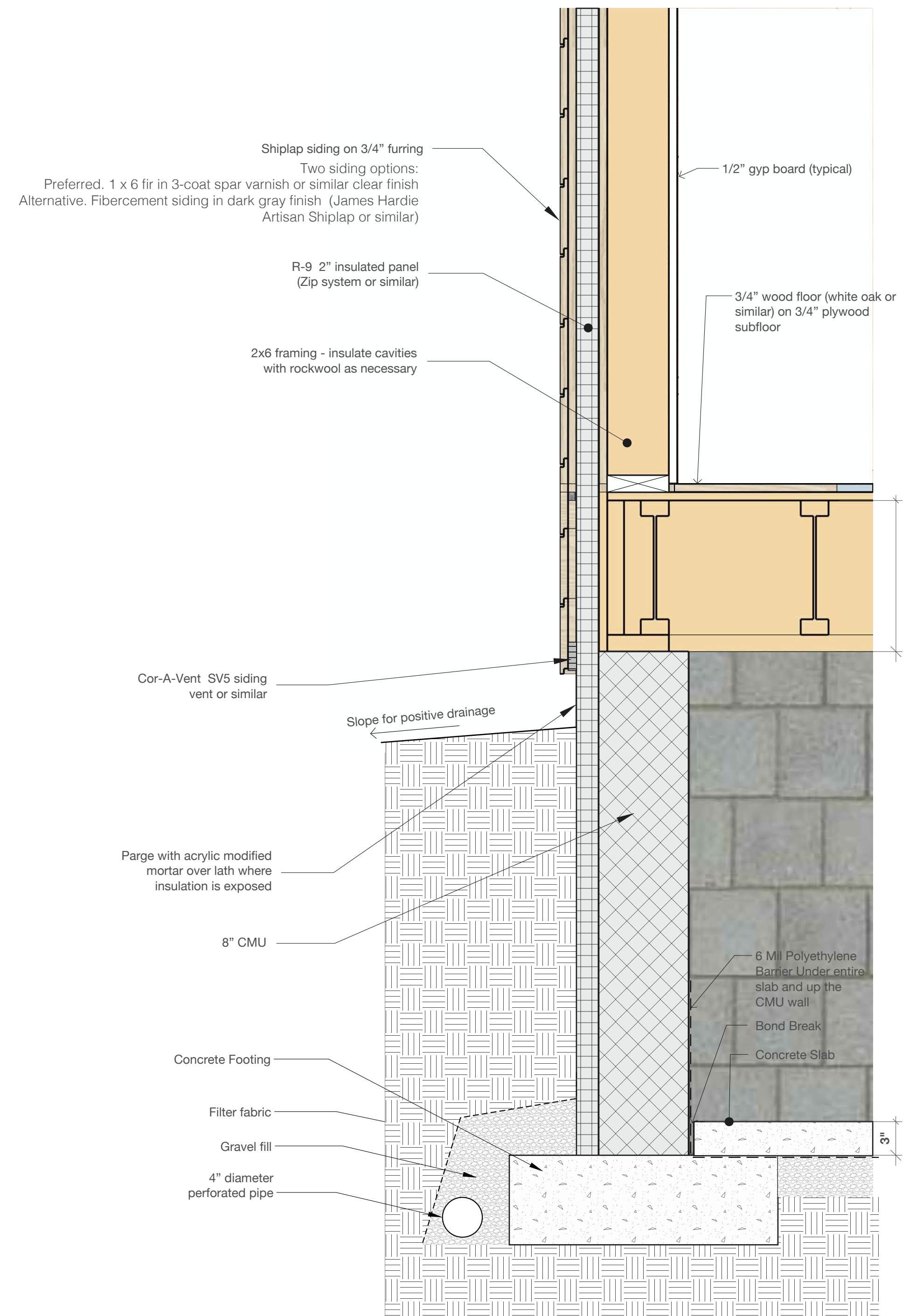
1 Elevation - West
Scale: 1/4" = 1'-0"



2 Elevation - South
Scale: 1/4" = 1'-0"



1 Building Section
Scale: 1/2" = 1'-0"



2 Typical Wall Section
Scale: 1 1/2" = 1'-0"

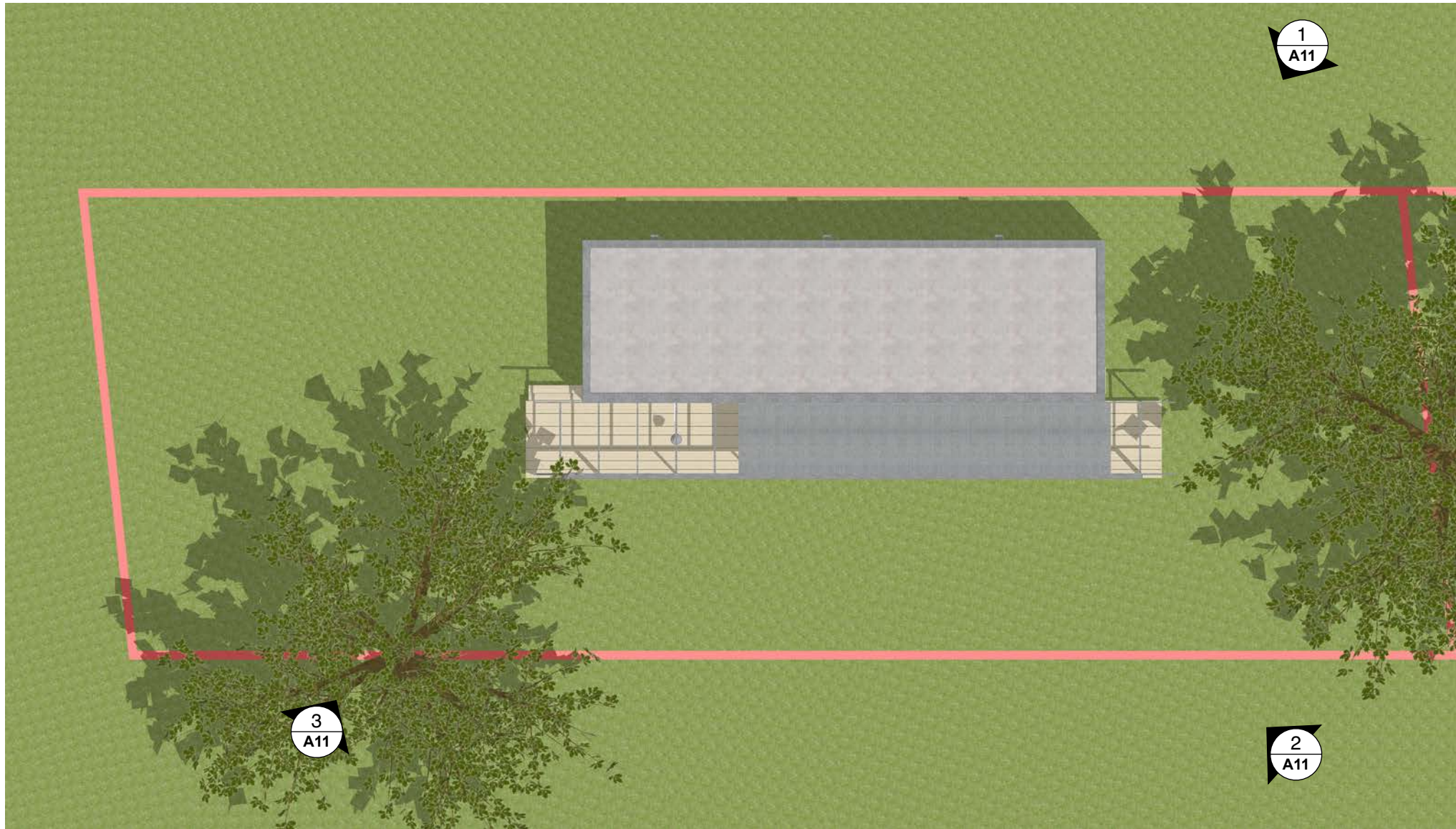




1
A11
Birdseye View
Scale: none



2
A11
Birdseye View
Scale: none



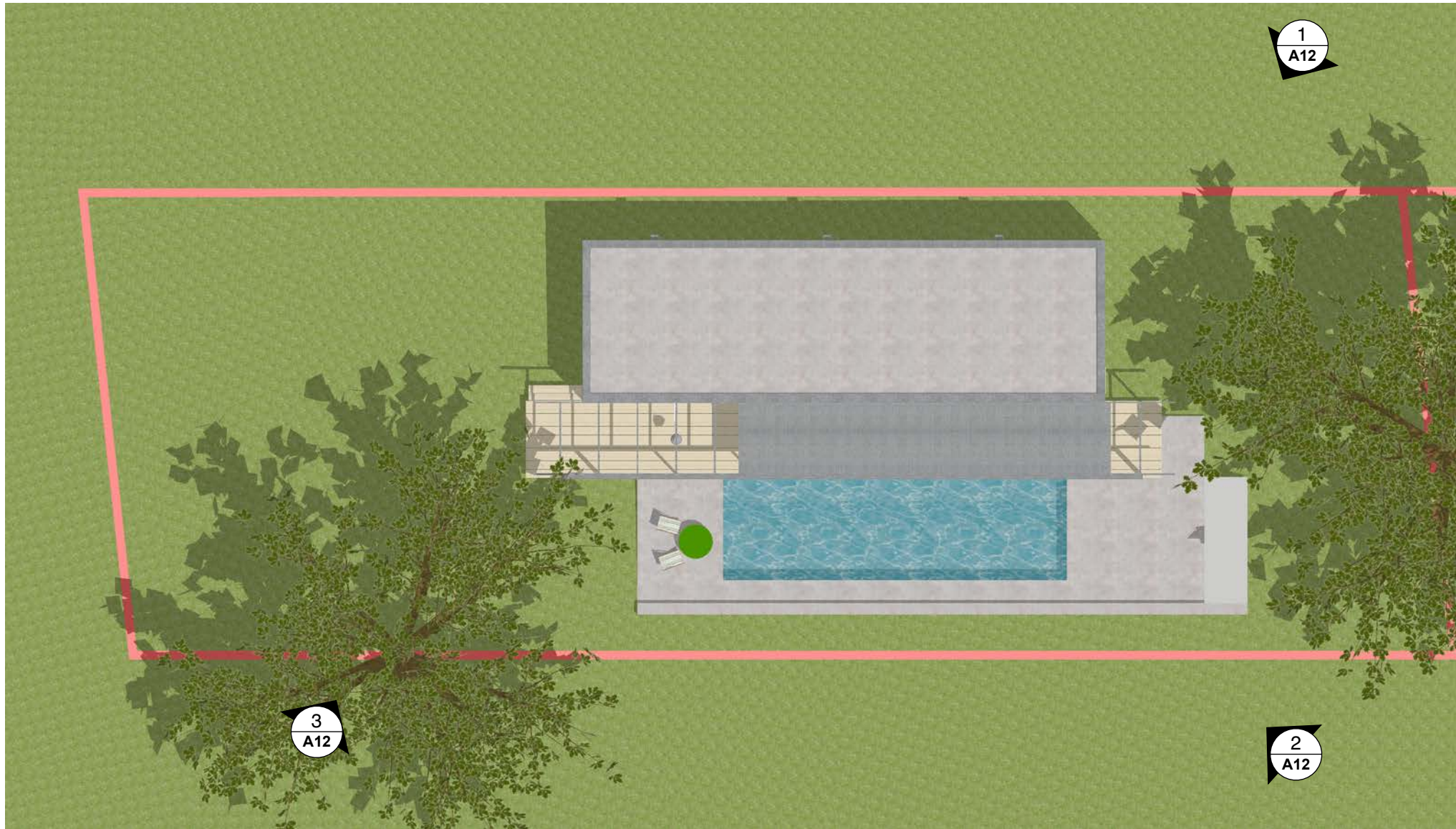
3
A11
Birdseye View
Scale: none



1 Birdseye View
A12 Scale: none



2 Birdseye View
A12 Scale: none



3 Birdseye View
A12 Scale: none





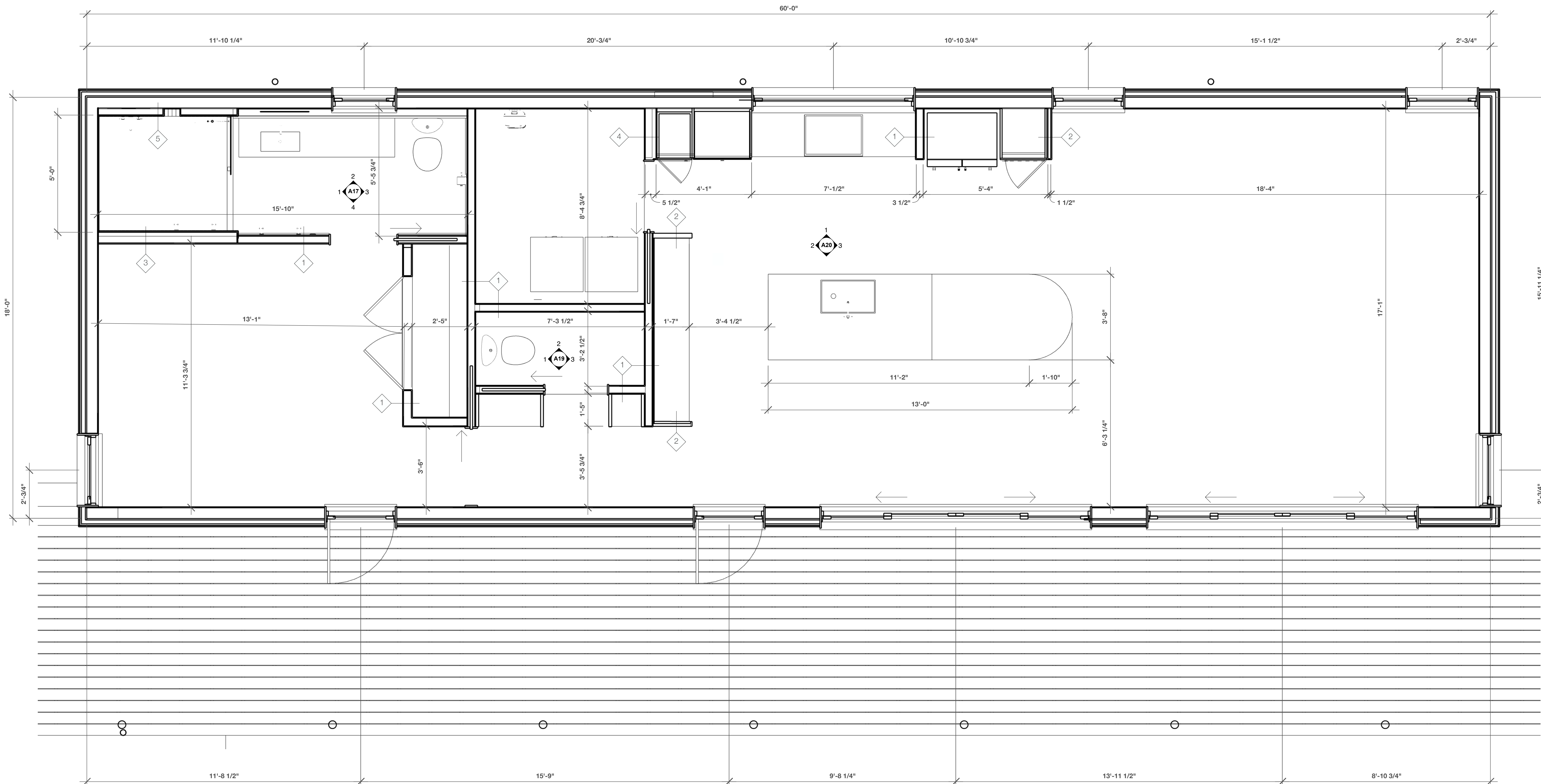
745 Park West House
745 Park Street, Charlottesville VA

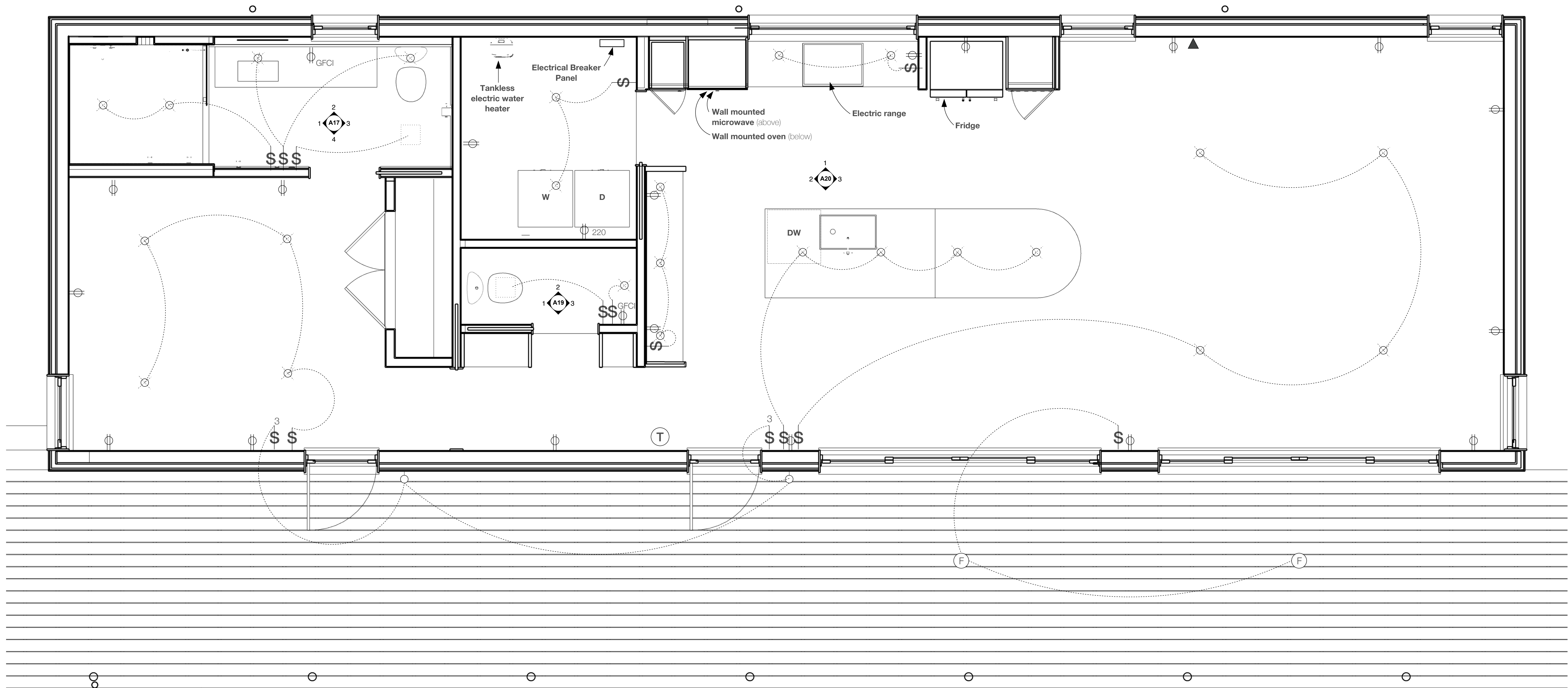
OFFICE
RIDDLE
434.882.1345
keconriddle@gmail.com

EXTERIOR
ILLUSTRATION

06-24-2024

A14





(F) Hardwire for ceiling fans to be selected and installed later by owner

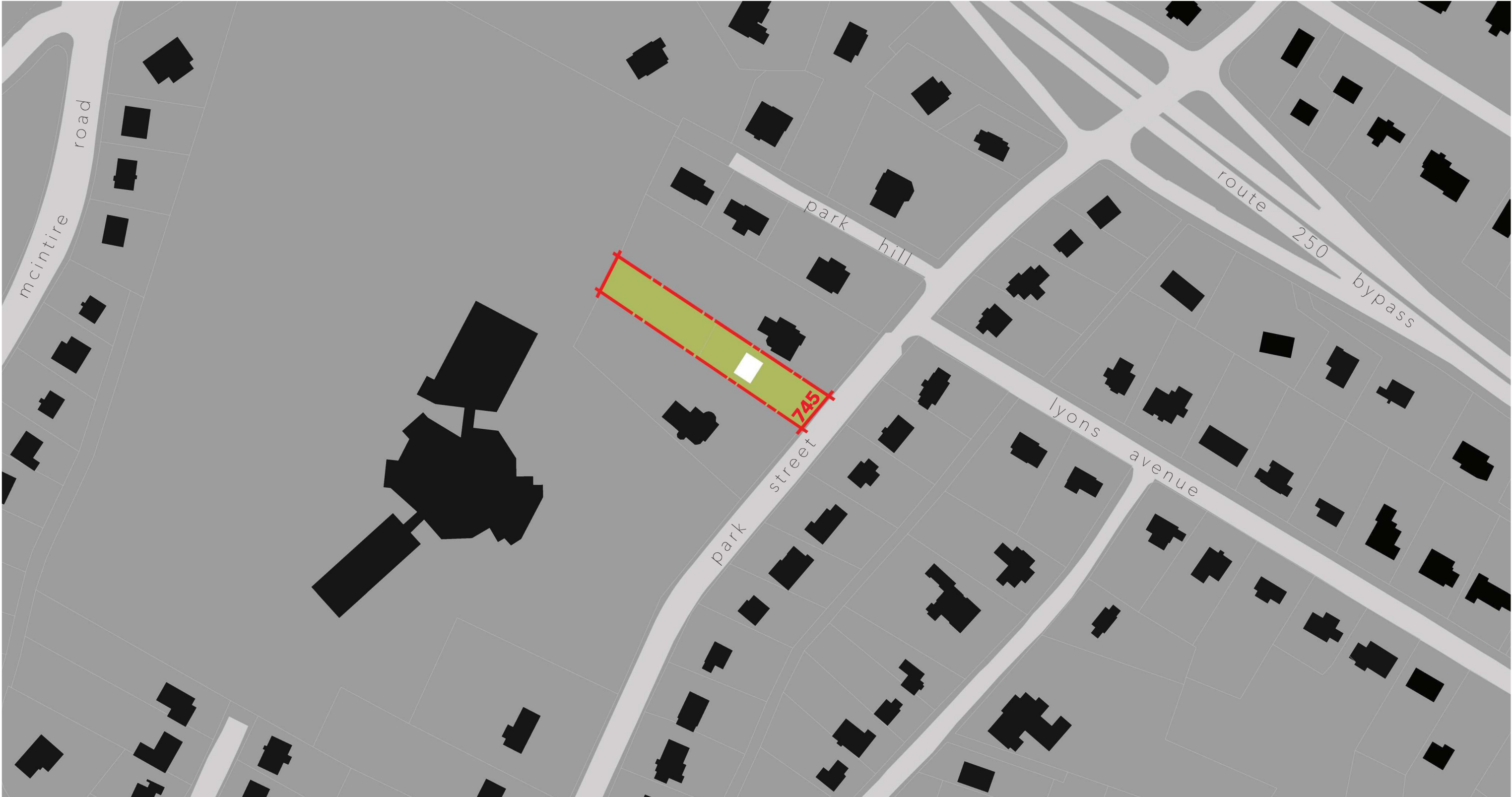
March 2024 submittal



WEST HOUSE
745 PARK STREET

BAR application
February 16, 2024

March 2024 submittal



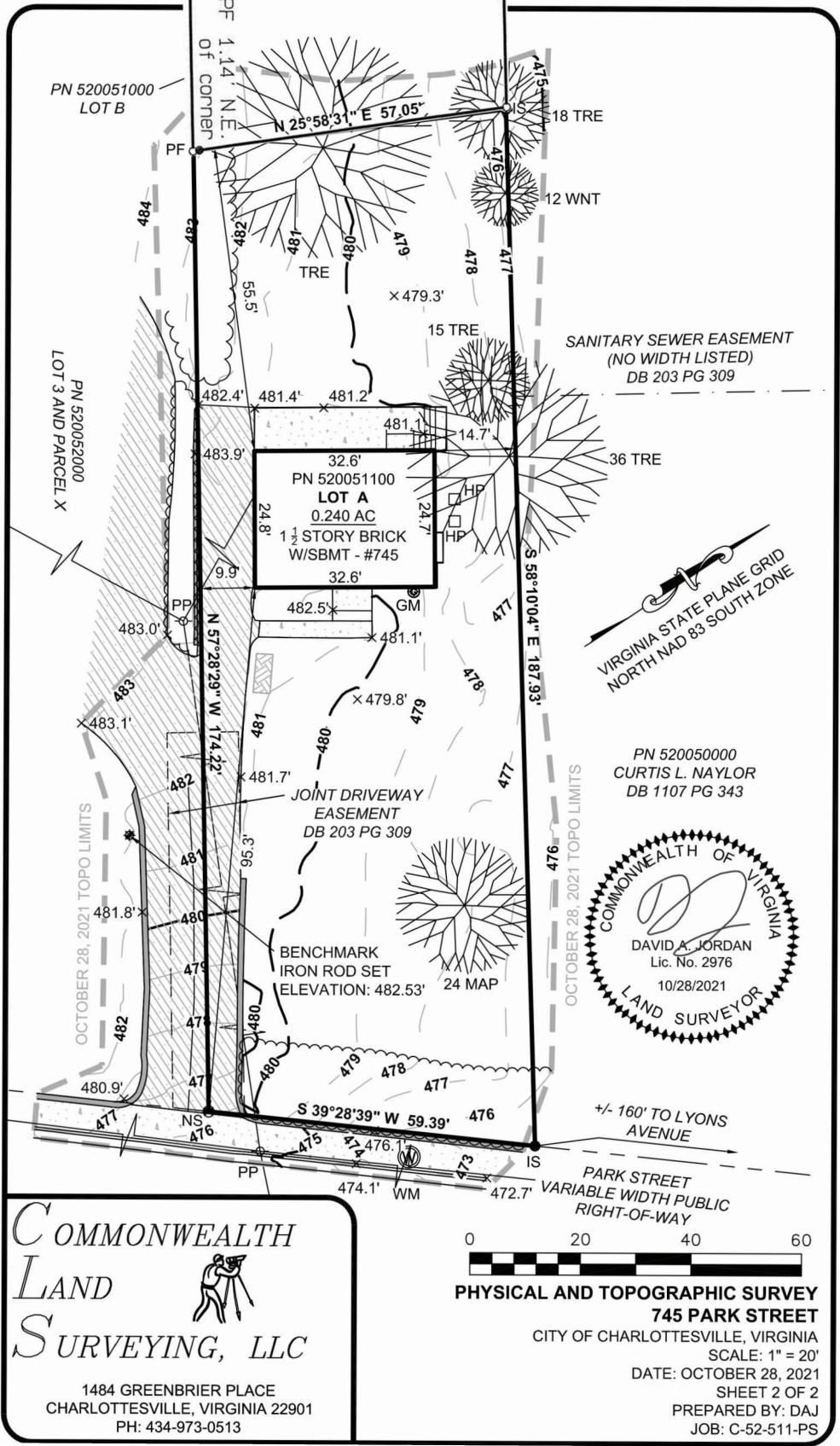


aerial photo

745 PARK STREET

2/16/2024

March 2024 submittal



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house from above

The proposed house is one story and approximately 1,000 square feet. It is sited over 80' behind the existing house on a separate parcel.

Both parcels are zoned **R-A**. We will meet the dimensional, yard and all other relevant standards for this zone as outlined in the city's Code of Development.

We do not anticipate that the new house will be visible from Park Street or Park Hill or any public way. The house is not tall, it has a modest footprint and it's located quite far from the closest sidewalks. Even in winter, it will be almost entirely out-of-sight except from private property.

We plan to make improvements to the existing house, but these will be presented at a future phase.

March 2024 submittal



745 PARK STREET

2/16/2024

March 2024 submittal



east



north

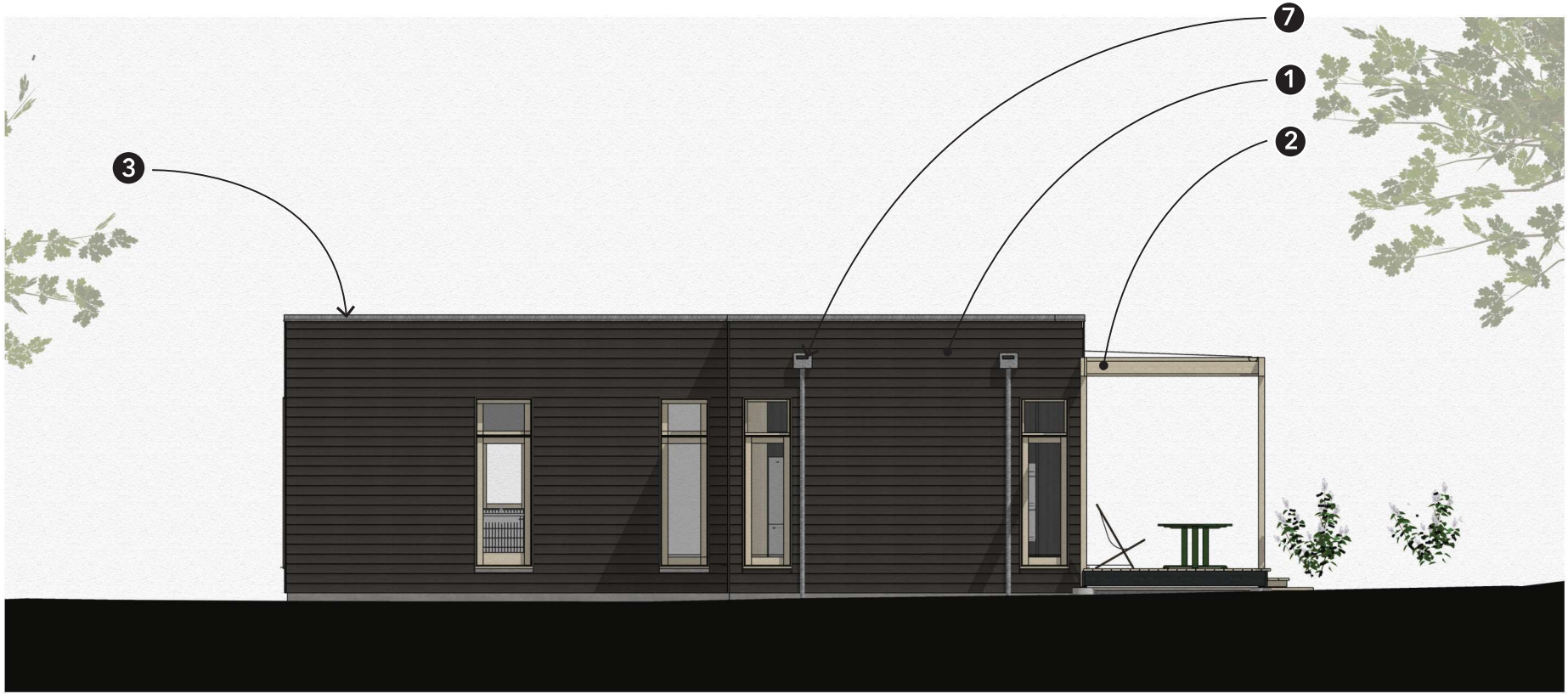
elevations

745 PARK STREET

March 2024 submittal



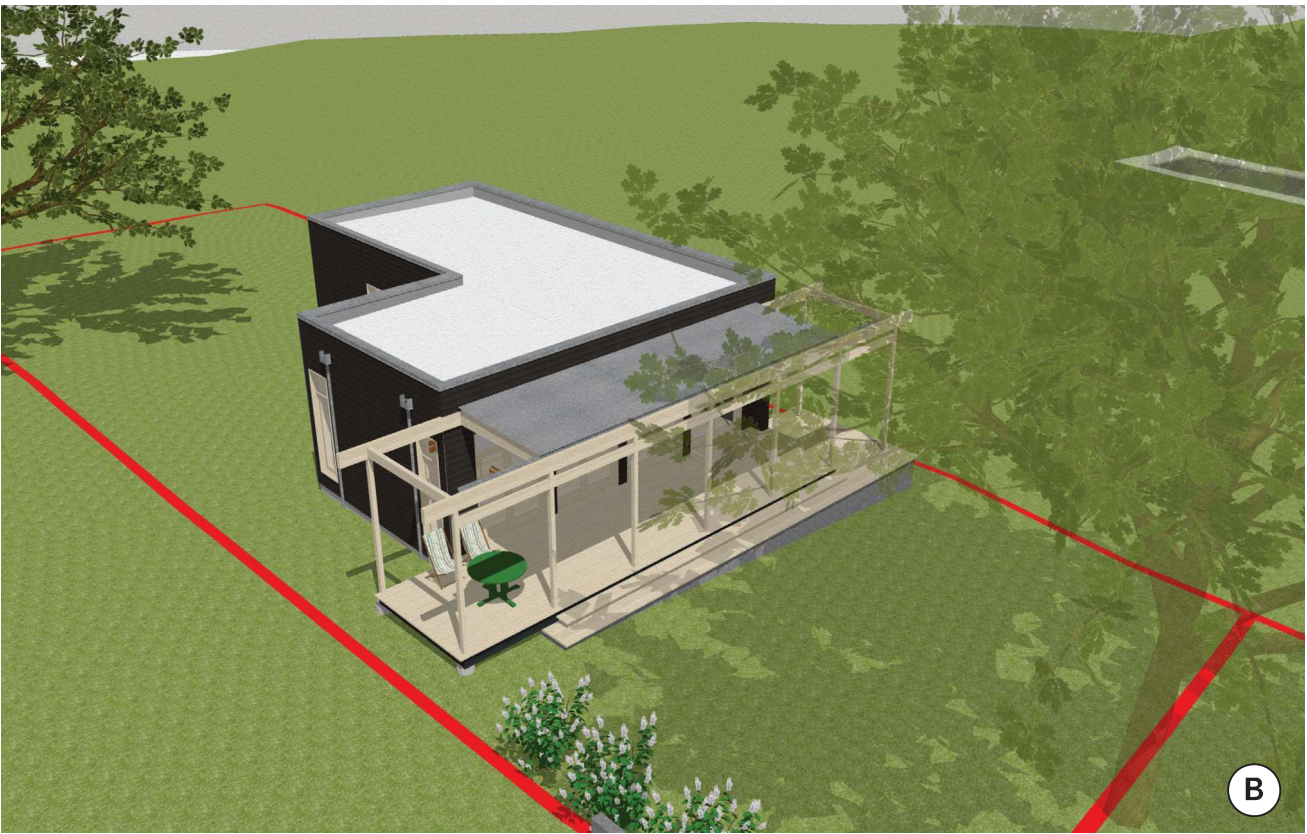
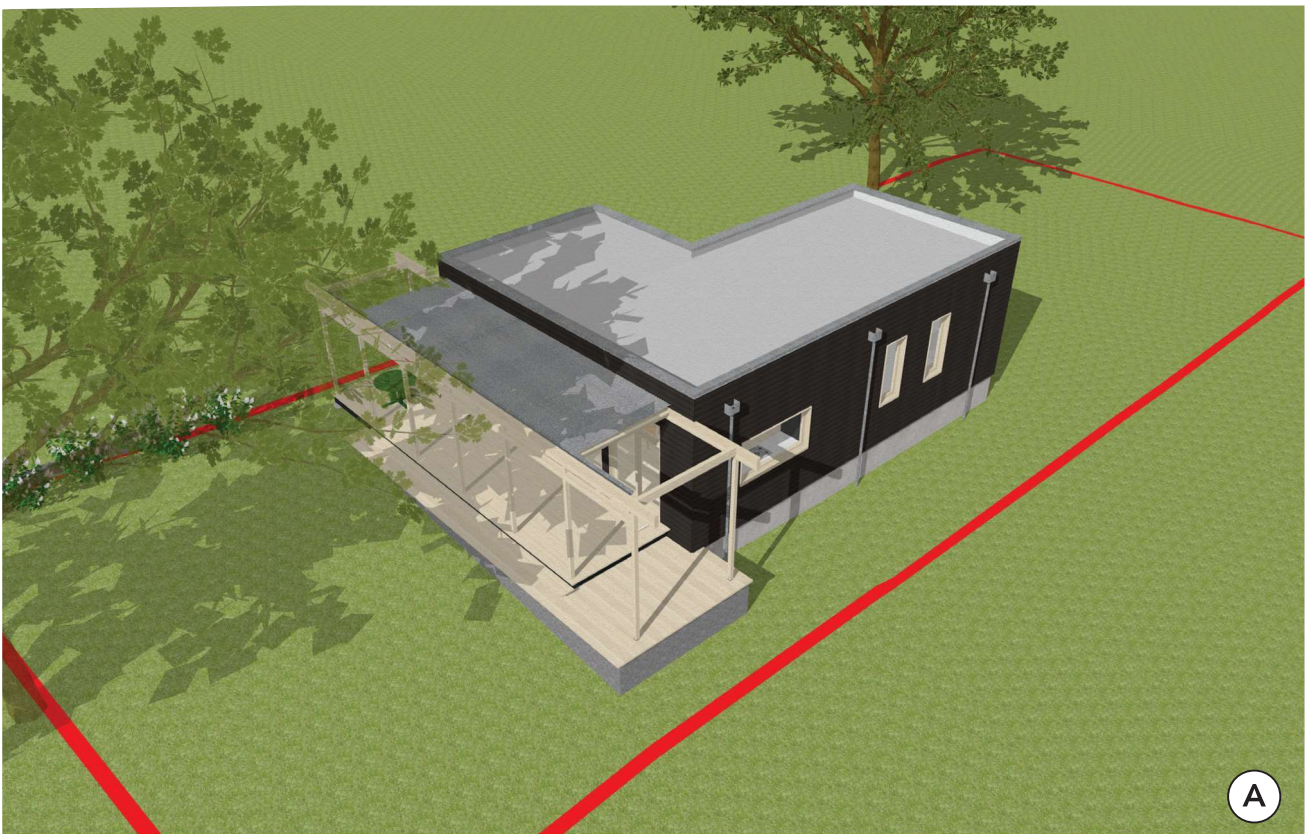
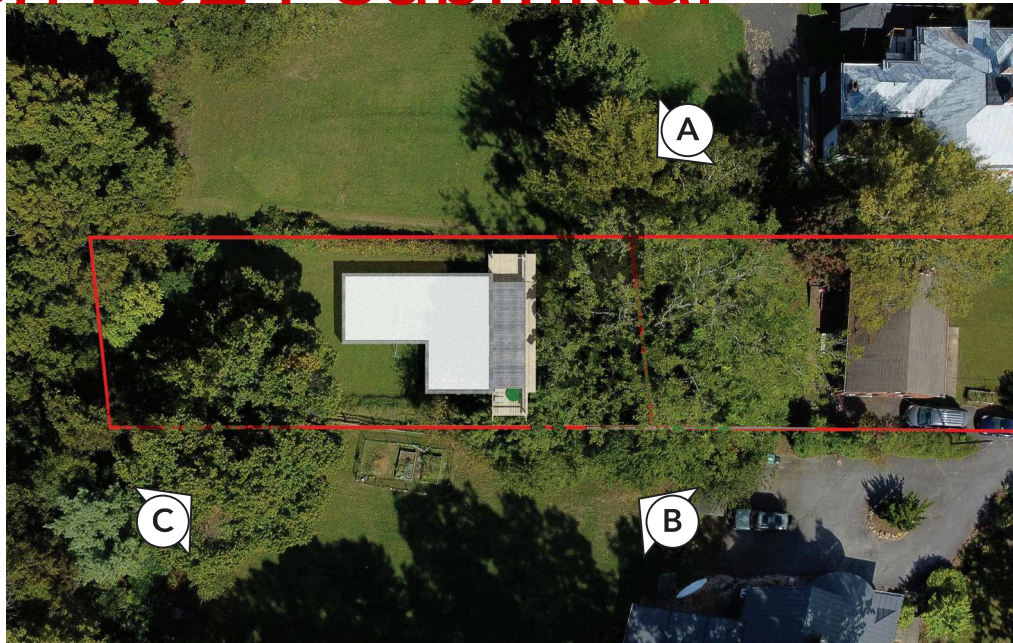
west



south

- 1 shiplap siding - fir in dark gray stain or fibercement in dark gray finish
- 2 fir pergola in 3-coat clear finish
- 3 anodized aluminum coping
- 4 doors and windows - Marvin Elevate or similar
- 5 porch decking in black locust or similar
- 6 gray parging over cmu
- 7 anodized aluminum scupper & downspout

March 2024 submittal



birdseye views

March 2024 submittal



existing conditions



745 PARK STREET

2/16/2024

March 2024 submittal

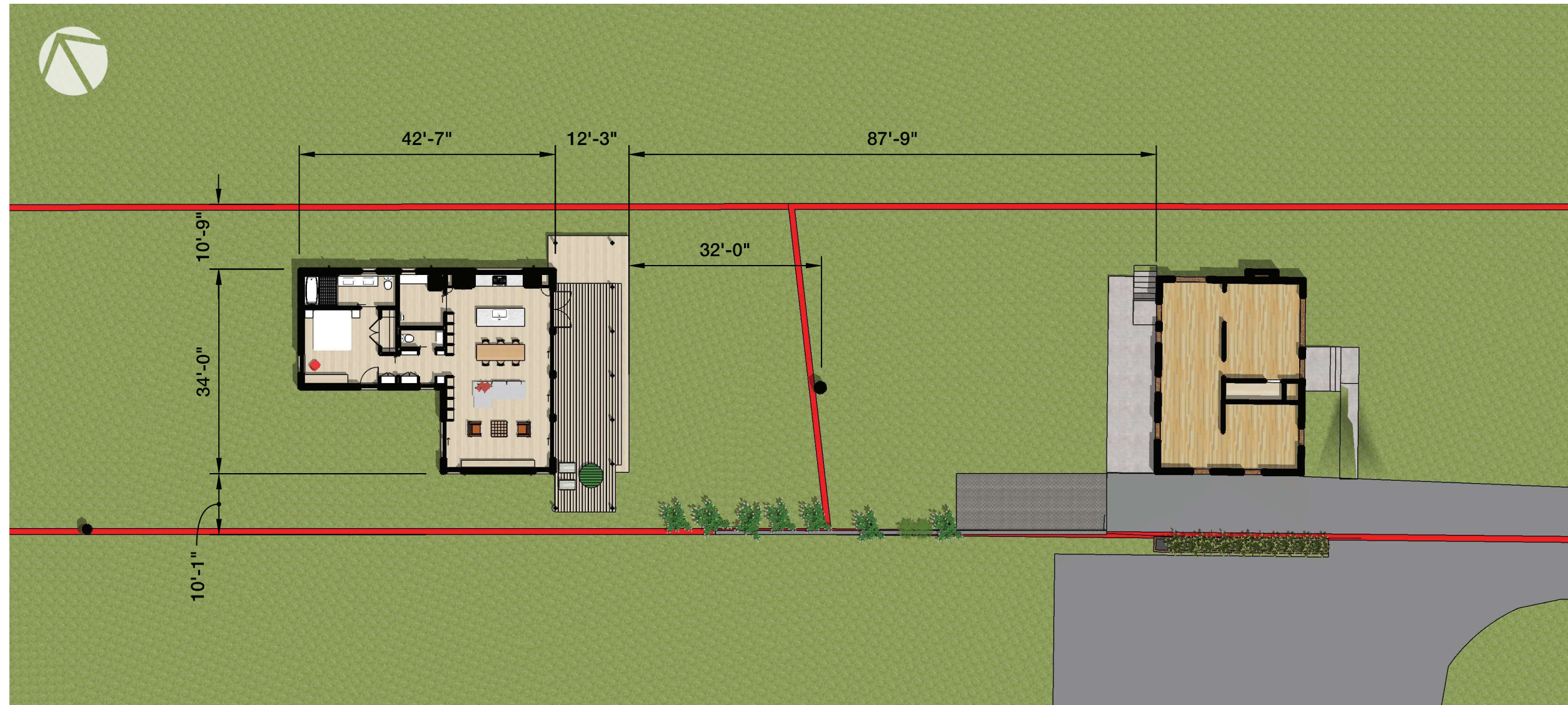


perspective

745 PARK STREET

2/16/2024

March 2024 submittal



**City of Charlottesville
Board of Architectural Review
Staff Report
August 20, 2024**



Certificate of Appropriateness

BAR # 24-08-05

627 Cabell Avenue; TMP 050105000

Rugby Road, University Circle, Venable Neighborhood ADC District

Owners/Applicants: Neighborhood Investments, LLC/ Caleb Slabach, CEO Cornerstone General Contractors, LLC

Project: Construction of rear, two-story porch



Background

Year Built: 1930 with rear addition post-1965

District: Rugby Road-University Circle-Venable Neighborhood ADC District.

Status: Contributing

Style: Colonial Revival (survey is attached)

Prior BAR Reviews

None.

Application

- Applicant submittal: Mitchell Matthew Architects & Planners drawings for 627 Cabell Avenue, dated 2024-04-29, sheets A1, A2, and A3.

Request CoA for construction of a two-story porch on the side (north) elevation of the post-1965 rear addition to the original house.

Discussion and Recommendation

Staff recommends approval of this request, with the conditions listed below. The rear addition is differentiated from the 1930 house. The proposed porches will not significantly alter the architectural character of the addition, which is neither unique nor exemplary.

Recommended conditions:

- The proposed railings will be wood, composite material, or metal. Painted. No vinyl or plastic.

- The cement board trim and material will be installed with the smooth side exposed; no faux-grain.
- The porch decks can be Trex-type decking, provided it has a smooth surface, no faux-grain, and is square-edged to fit tight, similar to T&G flooring; no gaps like on a wood sundeck.
- Owner must address the deteriorated conditions of the historic house, particularly the front porch (due both to its condition and the removal of the Corinthian columns, which was not approved by the BAR), otherwise design staff will refer the matter to the Zoning Administrator for enforcement. (See page 5 of the attached property photos. Reference City Code Sec. 5.4.4.2.d.)

City Code Sec. 5.4.4.2.d: Failure to maintain or repair a contributing structure or protected property as required by 2.9.2. Architectural Design Control District [...]. Contributing structures and protected properties *are not allowed to fall into a state of disrepair that could result in the deterioration of any exterior appurtenance or architectural feature so as to produce a detrimental effect upon the character of a design district of the life and character of a contributing structure or protected property.*

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed two-story porch at 627 Cabell Avenue satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR [approves the request with the conditions recommended by staff].

Or [approves the request with] the following conditions:

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed two-story porch at 627 Cabell Avenue, does not satisfy the BAR's criteria and is not compatible with this property and other properties in this ADC District, and that for the following reasons the BAR denies the request: [...]

Criteria, Standards, and Guidelines

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- In considering a particular application the BAR will approve the application unless it finds:
 - That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of

the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Re; building heights. Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

The Secretary of the Interior's Standards for Rehabilitation

<https://www.nps.gov/subjects/taxincentives/upload/regs-nps-36-cfr-67.pdf>

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Links to ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

Pertinent ADC District Design Guidelines

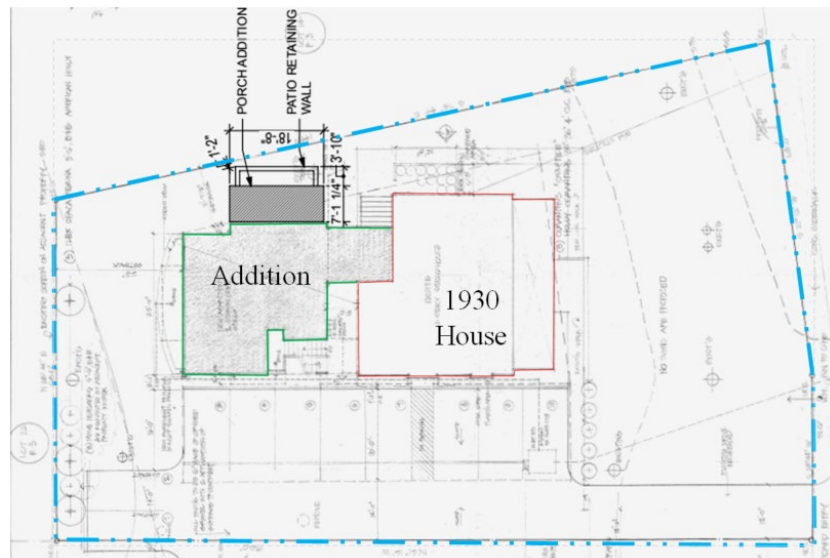
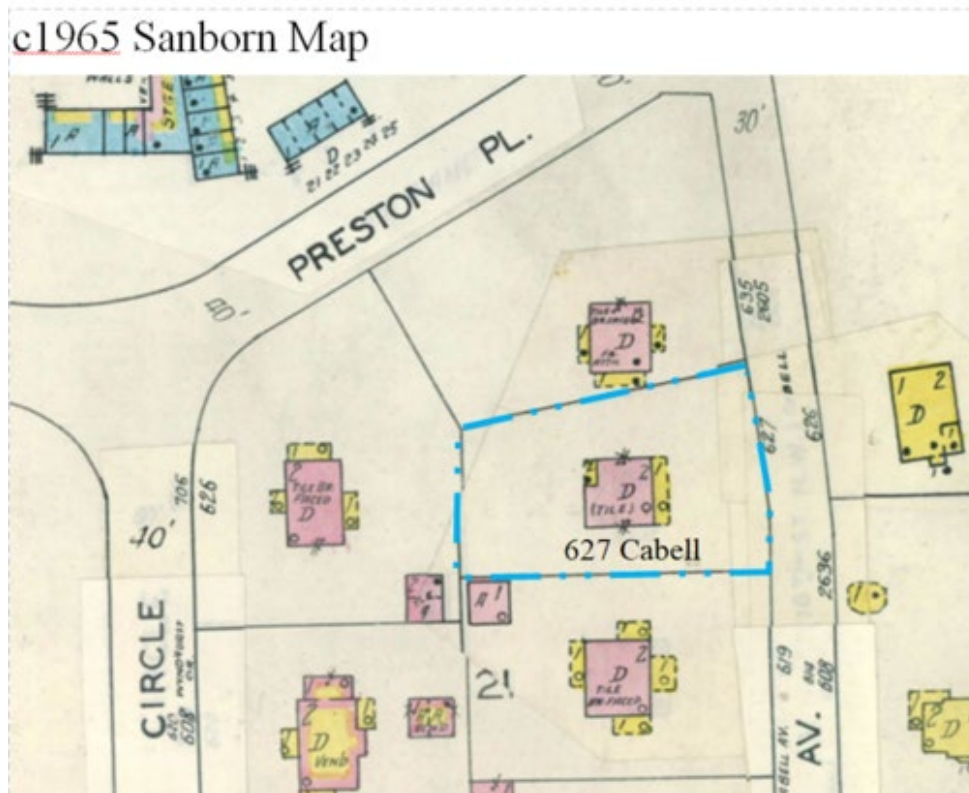
Chapter 3: New Construction and Additions

P. Additions

1. Function and Size
 - a. Attempt to accommodate needed functions within the existing structure without building an addition.
 - b. Limit the size of the addition so that it does not visually overpower the existing building.
2. Location
 - a. Attempt to locate the addition on rear or side elevations that are not visible from the street.
 - b. If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.
 - c. If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.
3. Design
 - a. New additions should not destroy historic materials that characterize the property.
 - b. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
4. Replication of Style
 - a. A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.
 - b. If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.
5. Materials and Features
 - a. Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.

6. Attachment to Existing Building
 - a. Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.
 - b. The new design should not use the same wall plane, roof line, or cornice line of the existing structure.

Appendix:



627 Cabell Avenue



STREET ADDRESS:	627 Cabell Avenue
MAP & PARCEL:	5-105
PRESENT ZONING:	R-3
ORIGINAL OWNER:	
ORIGINAL USE:	Residential – single family
PRESENT USE:	Residential-apartments
PRESENT OWNER:	Premier LLC
ADDRESS:	P.O. Box 538 Charlottesville, Va. 22905
DATE/ PERIOD:	Ca. 1930
STYLE:	Colonial Revival
HEIGHT IN STORIES:	2.0 stories
DIMENSIONS AND LAND AREA:	4,079 sq ft /0.289 acres
SOURCES:	Charlottesville City Records and 2004 Architectural Survey
CONTRIBUTING:	Yes

ARCHITECTURAL DESCRIPTION

This 2-story, 3-bay, hip-roofed, Colonial Revival-style dwelling was constructed ca. 1930. Details include: a small central dormer; symmetrical 3-bay front; full length front veranda porch with Corinthian columns as posts; 6/1 windows; a semi-exterior-end stuccoed chimney; overhanging eaves; and large rear addition. Like the other houses on the west side of Cabell Avenue, this dwelling sits high above street level, being partly obscured by tall evergreens. It is a contributing resource in the District.

627 Cabell Avenue. NDS photo 8-14-2023

South and east elevations

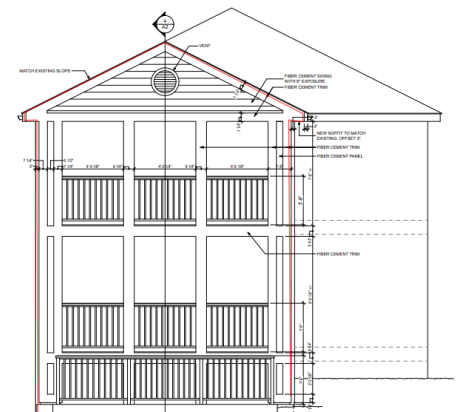
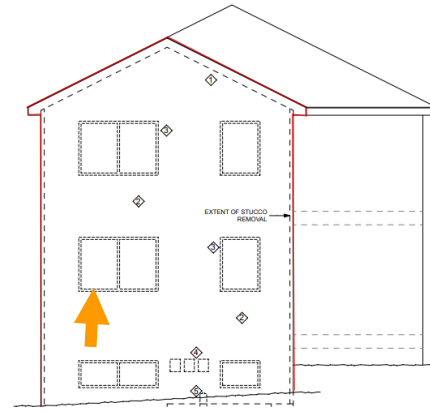


South elevation



North elevation: Side of rear addition and yard

Location of proposed
porches



West elevation: Back wall of rear addition

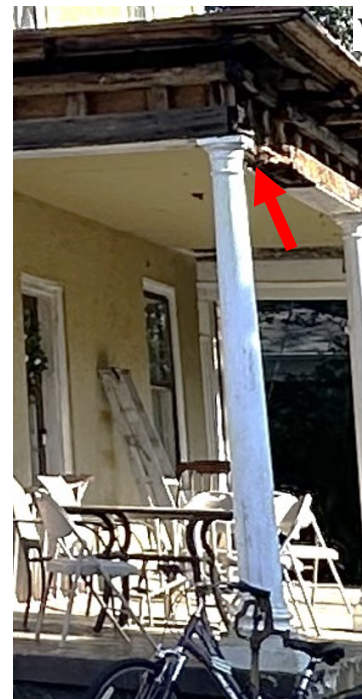


627 Cabell Avenue. Front porch condition.

NDS photo 8-14-2023



City historical survey 2004/2005



veranda porch with Corinthian columns



PROJECT TEAM

OWNER
RICHARD SPURZEM
NEIGHBORHOOD PROPERTIES
1025 WERTLAND STREET
CHARLOTTESVILLE, VA 22903

ARCHITECT
MITCHELL / MATTHEWS ARCHITECTS
P.O. BOX 5603
CHARLOTTESVILLE, VA 22905
434 979-7550

STRUCTURAL ENGINEER
DUNBAR
110 THIRD ST. N.E.
CHARLOTTESVILLE, VA 22902
434 293-5171

SHEET INDEX

- A1 GENERAL NOTES
GENERAL DEMOLITION NOTES
DEMOLITION AND REPAIR KEY
VICINITY MAP
SITE PLAN
DEMOLITION - NORTH ELEVATION
2ND FLOOR CEILING AND ELECTRICAL PLAN
FIRST AND SECOND FLOOR PLAN
BASEMENT AND FOUNDATION PLAN
ROOF PLAN
- A2 WEST ELEVATION
NORTH ELEVATION
BUILDING SECTION
BUILDING SECTION
FIRST & SECOND FLOOR FRAMING PLAN
ROOF FRAMING PLAN
- A3 DETAIL PLANS
DETAIL SECTIONS

GENERAL NOTES

- This is a "builders set" with minimal detail. If additional detail or clarification is required contact the architect, John Rhode or John Matthews: 434 979-7550.
- This building will remain occupied during construction. Coordinate all issues related to safe and continued resident occupancy with the Owner prior to commencing work.
- Prior to commencing work, the Contractor is to visit the site and thoroughly familiarize himself with all existing conditions, both site and building related.
- The Contractor is to confirm all existing and proposed grades prior to commencing work.
- The Contractor is responsible for coordination of all existing and proposed utilities and sub-surface work with subcontractors.
- Contractor to coordinate all work, as needed, with the City of Charlottesville and all related utility departments.
- Prior to commencing work or ordering materials, the Contractor must thoroughly review and familiarize himself with the construction documents.
 - Report any discrepancies in the documents to the architect before proceeding.
 - Advise the architect of any substitutions / changes prior to ordering materials and commencing work on substitutions / changes.
- Consult the architect before commencing work if clarification or additional detail is required.
- Store, protect, install, clean and maintain all materials, products, assemblies, appliances, equipment etc. per manufacture's instructions.
- Coordinate all MEP, including potential relocation of gas meters, condensing units and patio drainage with Owner prior to commencing work. Consult with Owner regarding repair and/or replacement of existing finish materials and any other cosmetic or necessary structural repairs observed. Architect has not evaluated existing structural and enclosure systems for any repairs that may be required.
- All wood in contact with earth, concrete or masonry to be preservative pressure treated.
- Consult with owner for all desired electrical elements/components to be included in this project.
- Contractor to follow standard industry practices in all work and ensure full compliance with building code and City of Charlottesville zoning ordinance.

CODE, ZONING AND OCCUPANCY

- BUILDING CODE**
1. 2021 Virginia Residential Code
- ZONING**
2. RX-3
- OCCUPANCY**
3. R-2
- TYPE OF CONSTRUCTION**
4. TYPE 5B

GENERAL DEMOLITION NOTES

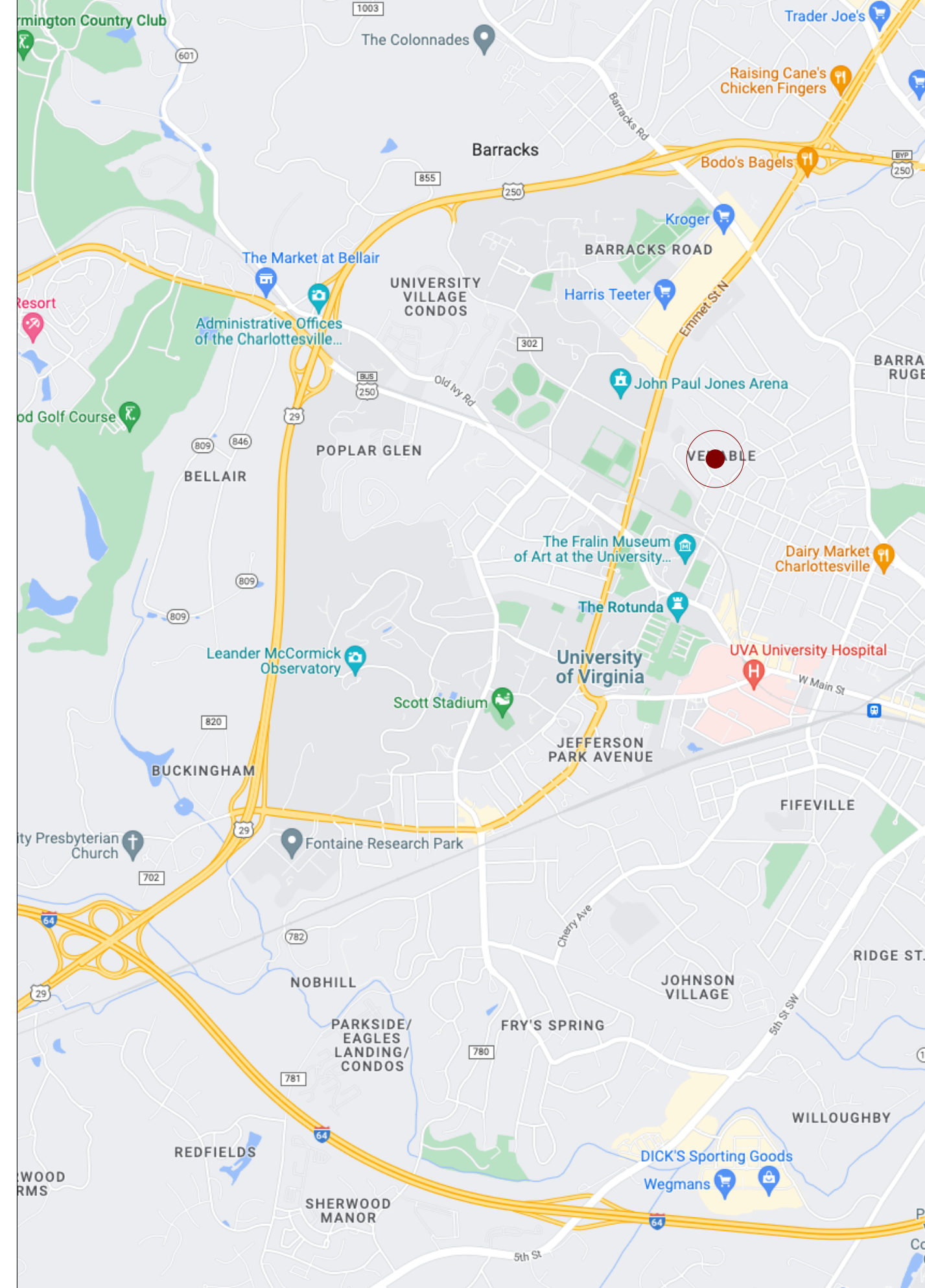
- Existing construction (partitions, doors, plumbing fixtures, equipment, etc.) is indicated on the demolition plan with solid lines. Items to be demolished / removed are indicated in dashed lines.
- Coordinate interruption of electrical, gas and plumbing service with Owner, city and other effected parties.
- If hazardous materials are discovered during removal operations, stop work and notify owner; hazardous materials include asbestos containing materials, lead, PCB's, and mercury.
- Brace all existing structures and structural elements as necessary to prevent structural failure caused by demolition operations. Coordinate with structural engineer.
- Protect existing-to-remain construction.
- Repair or replace existing construction which damaged by construction activities or has deteriorated to the point where it compromises the integrity of the assembly. Consult with Architect or Owner.
- Verify location and extent of demolition with owner. Coordinate new equipment electrical, gas and plumbing requirements with owner and applicable city departments.
- Maintain watertightness of existing building during all phases of construction including demolition.
- At a minimum return building to a watertight finished product.
- Coordinate all site work and excavation with Owner, neighbors and all City utilities departments.

DEMOLITION and REPAIR KEY

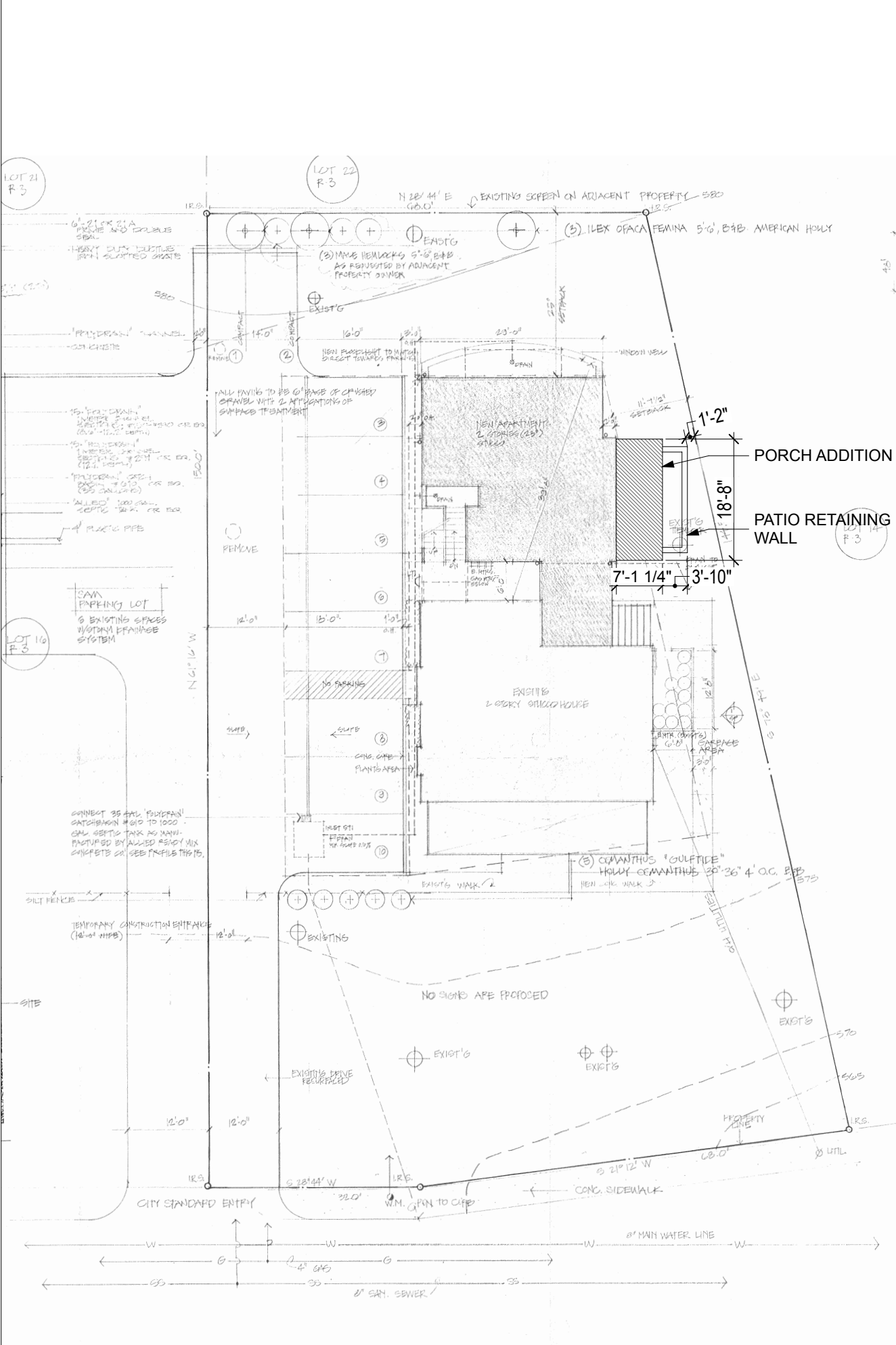
Note: Verify all demolition items and requirements with Owner prior to proceeding.

- 1 Remove trim.
- 2 Remove stucco finish system. Follow manufactures instructions for sealing and flashing to new construction.
- 3 Remove windows and section of wall to accommodate new fixed and operable doors.
- 4 Relocate gas meters. Coordinate with City of Charlottesville.
- 5 Relocate drain clean-out. Tie into existing site drainage system.
- 6 Remove concrete block to accommodate new fixed and operable doors.

VICINITY MAP



SITE PLAN



MITCHELL/MATTHEWS
ARCHITECTS & PLANNERS
300 TOWN OF COMMONS LANE, CHARLOTTESVILLE, VA 22906
Tel: 434-979-7550 Fax: 434-979-5220

Richard Spurzem
Neighborhood Properties
1025 Wertland Street, Charlottesville, VA 22903

DUNBAR
STRUCTURAL ENGINEER
110 Third St. N.E., Charlottesville, VA 22902
434 293-5171



627 Cabell
627 Cabell Avenue
Charlottesville, Virginia 22903

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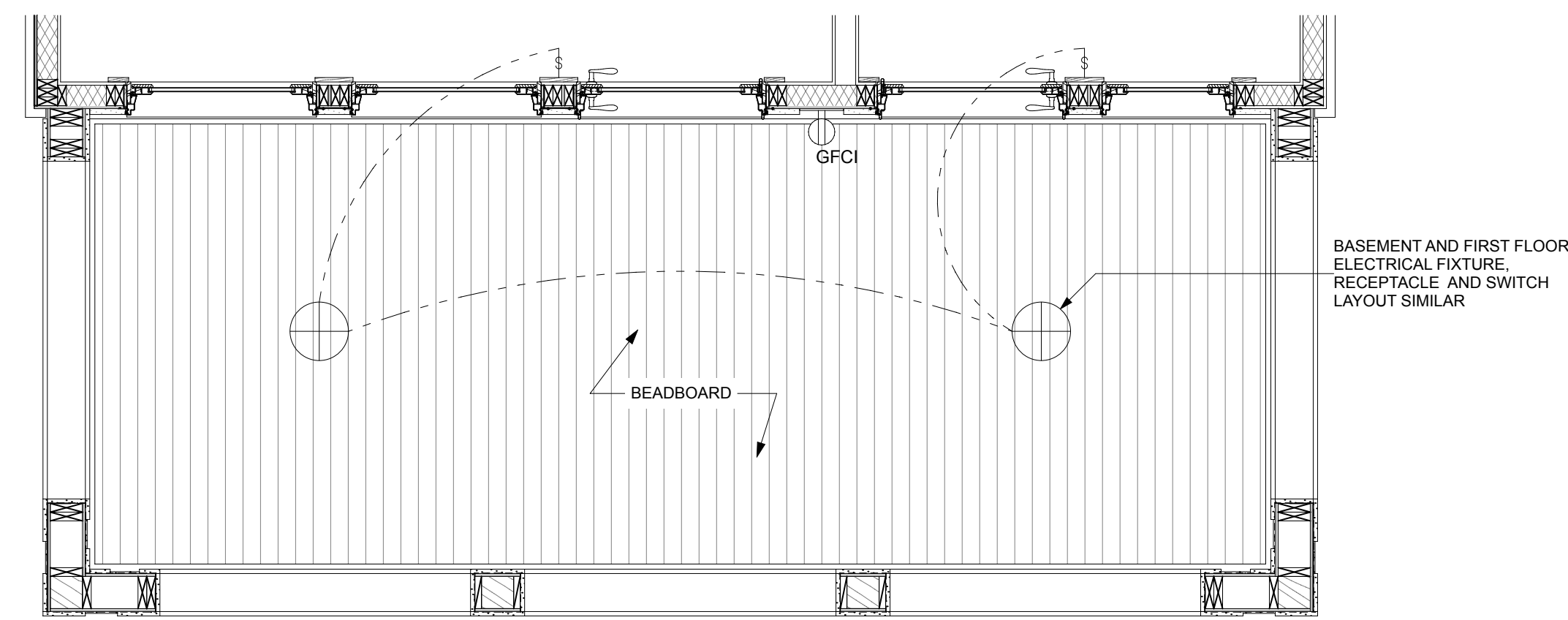
Mitchell / Matthews Architects © 2024

The contractor is responsible for checking & verifying all levels and dimensions, and shall report any discrepancies to the Architect.

PROJECT 627 Cabell
DATE 2024-04-29

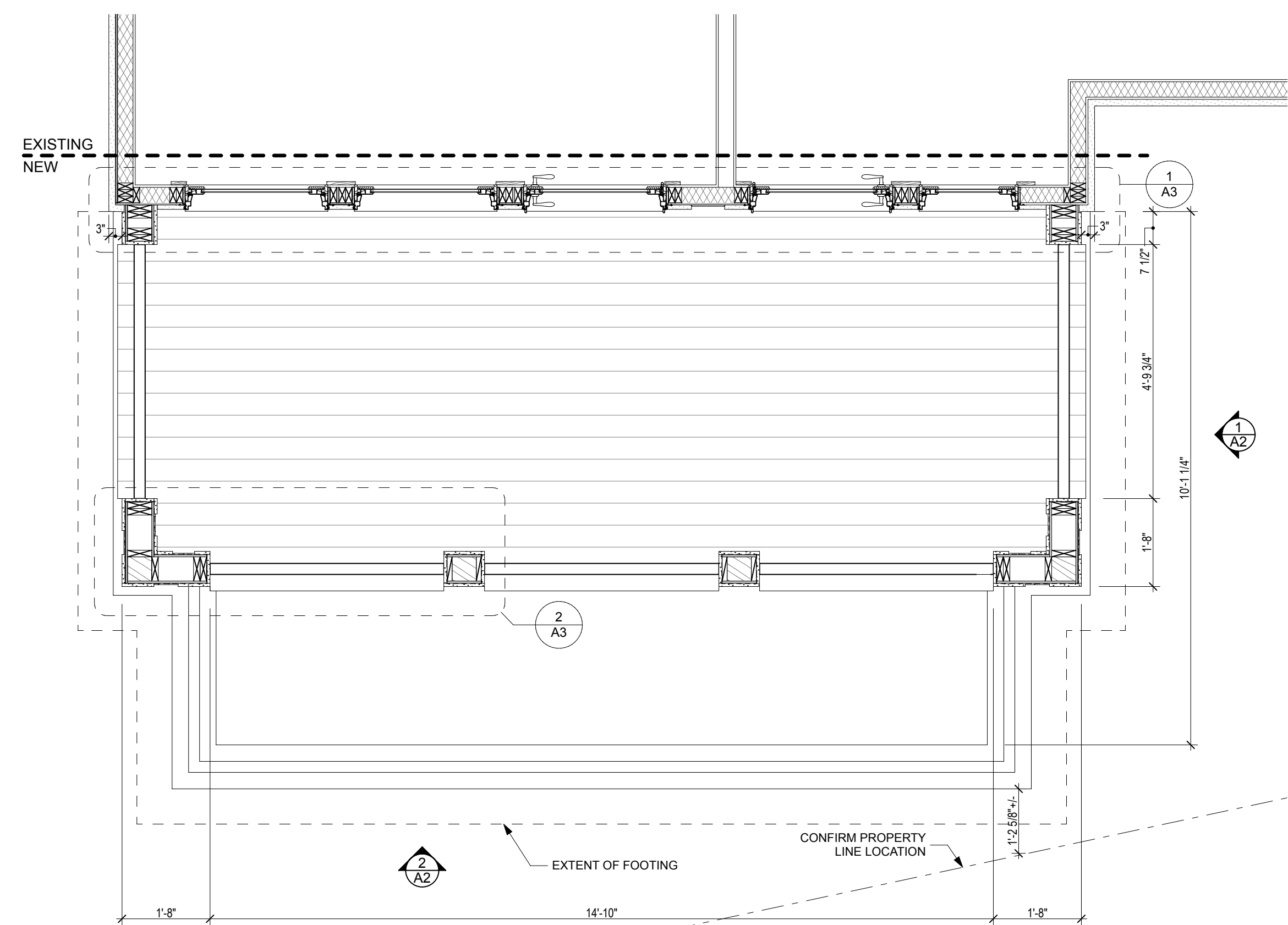
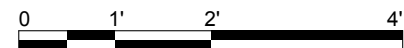
REVISIONS	DATE	DESCRIPTION

A1



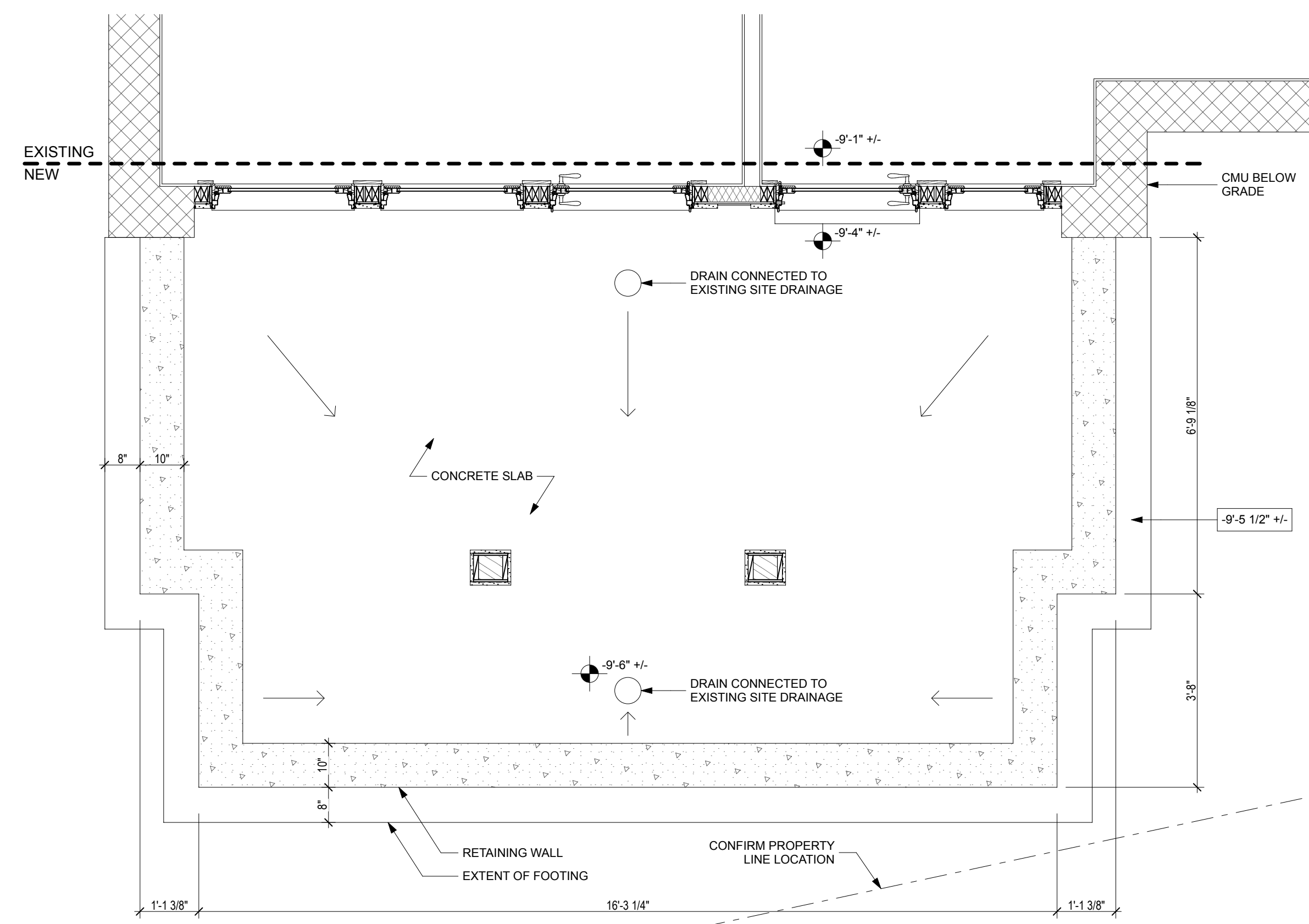
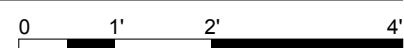
1 Second Floor Ceiling and Electrical Plan

A1 SCALE: 1/2" = 1'-0"



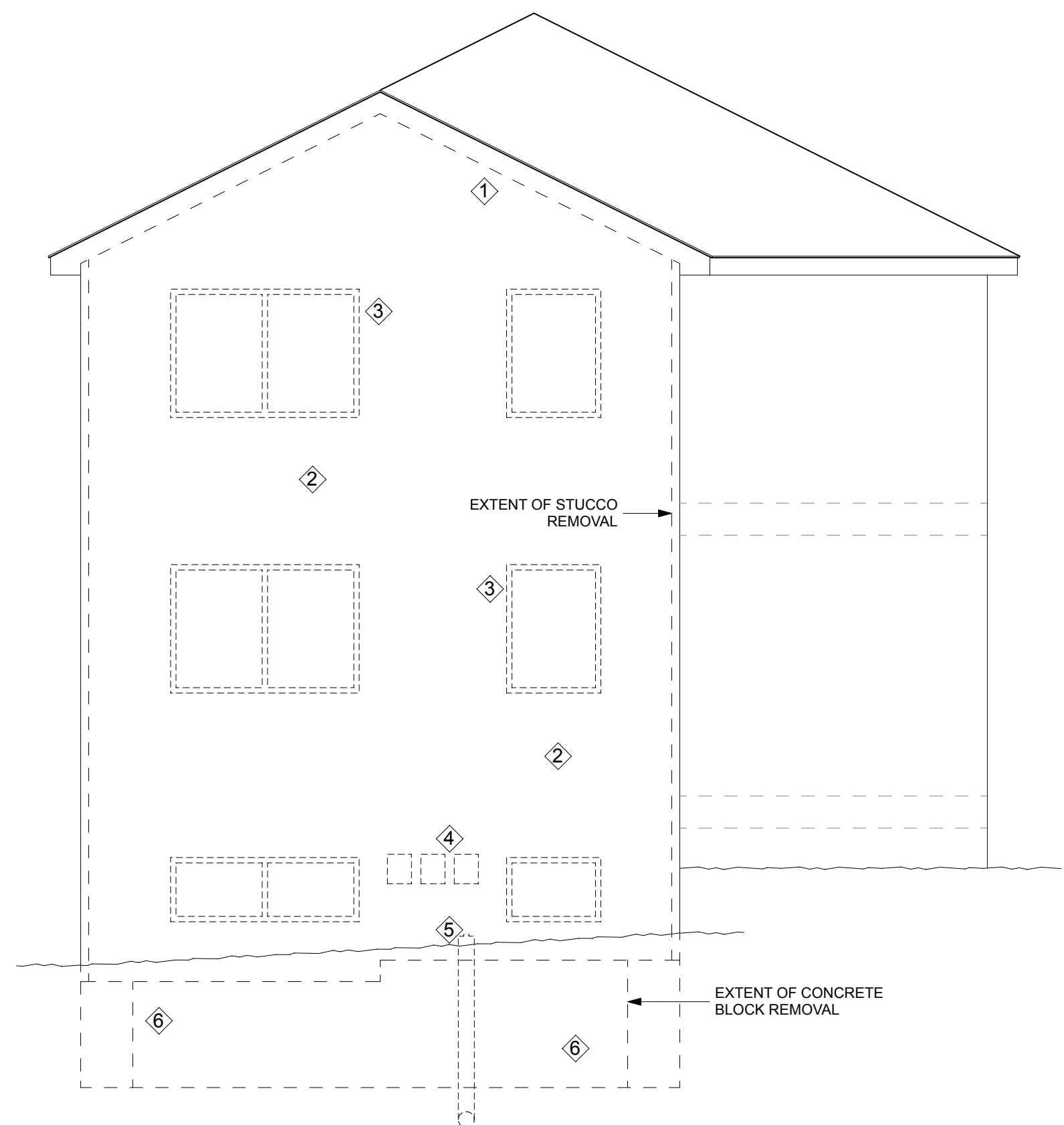
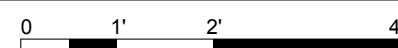
2 First and Second Floor Plan

A1 SCALE: 1/2" = 1'-0"



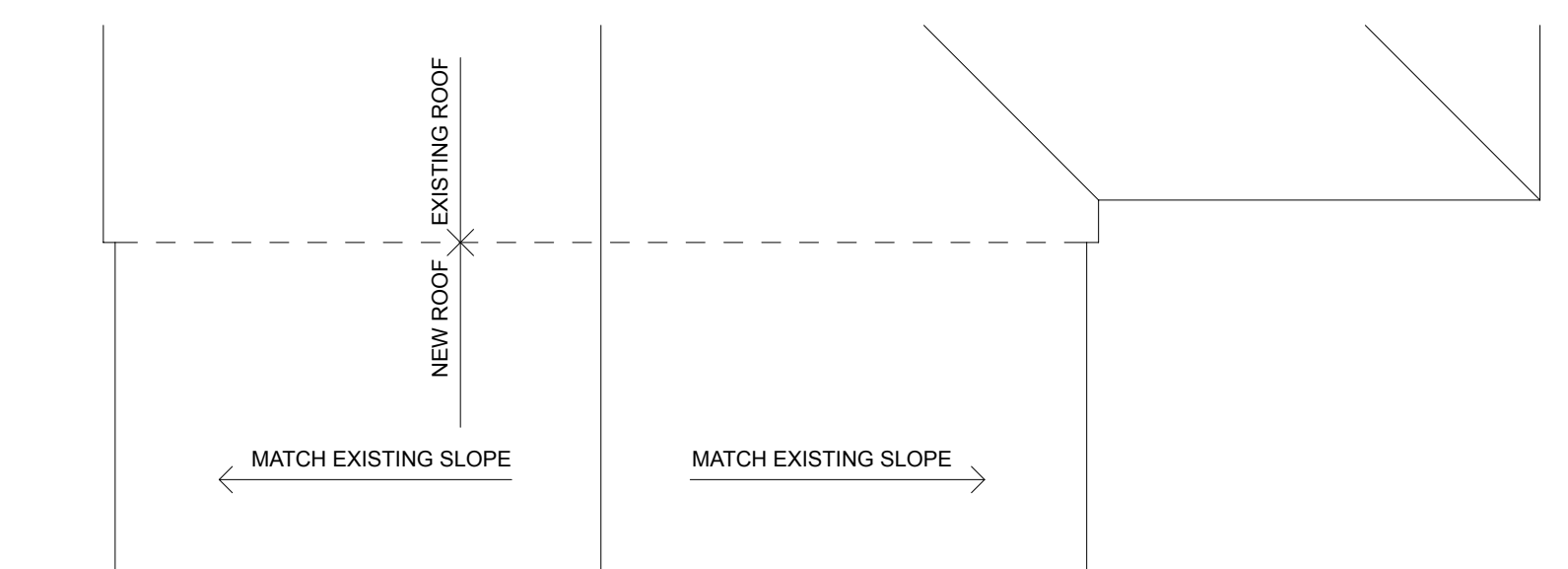
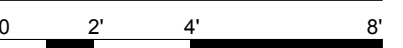
3 Basement and Foundation Plan

A1 SCALE: 1/2" = 1'-0"



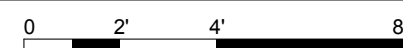
5 Demolition - North Elevation

A1 SCALE: 1/4" = 1'-0"



4 Roof Plan

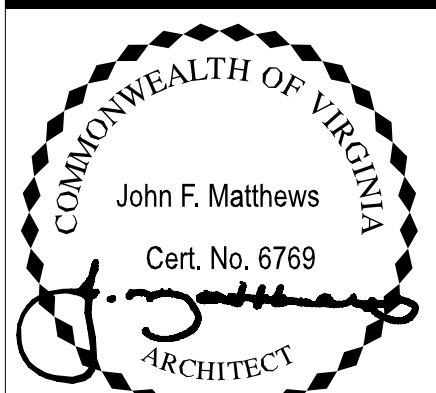
A1 SCALE: 1/4" = 1'-0"





Richard Spurzem
Neighborhood Properties
1025 Werland Street, Charlottesville, VA 22903

DUNBAR
STRUCTURAL ENGINEER
110 Third St. N.E., Charlottesville, VA 22902
434 293-5171



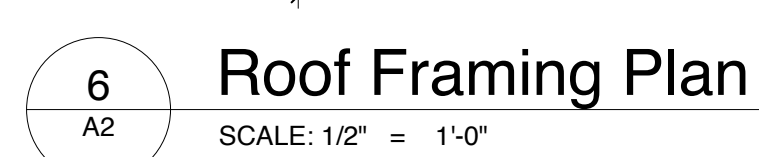
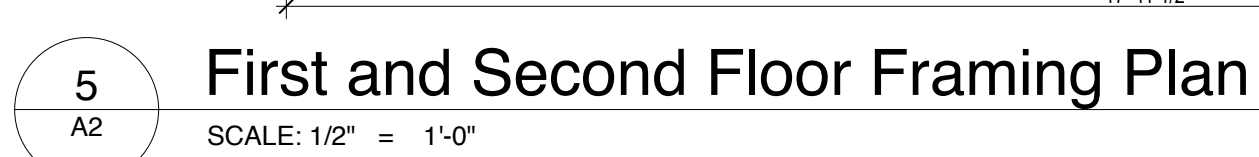
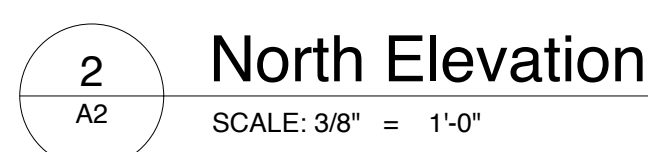
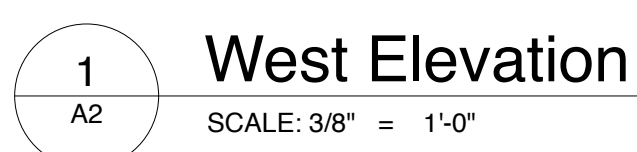
627 Cabell
627 Cabell Avenue
Charlottesville, Virginia 22903

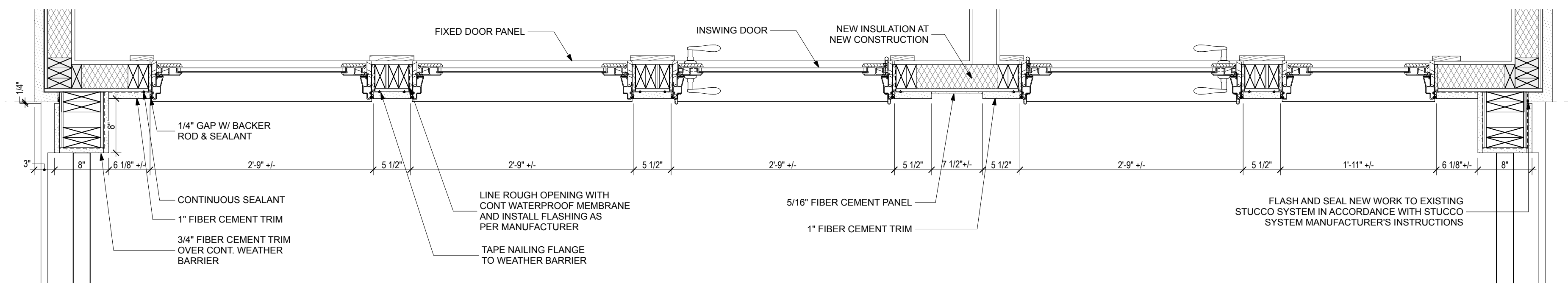
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PROJECT	627 Cabell
DATE	2024-04-29

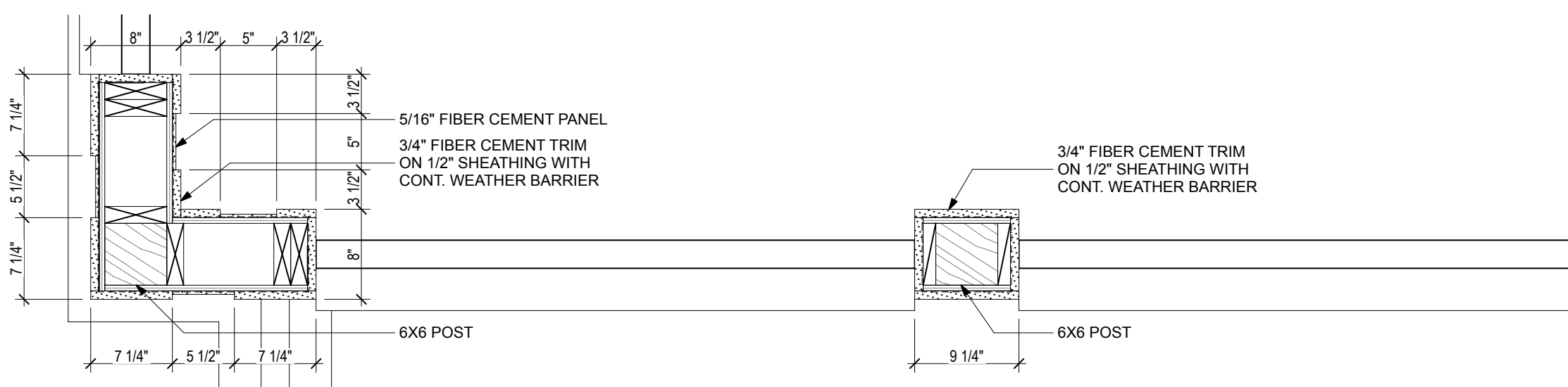
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A2

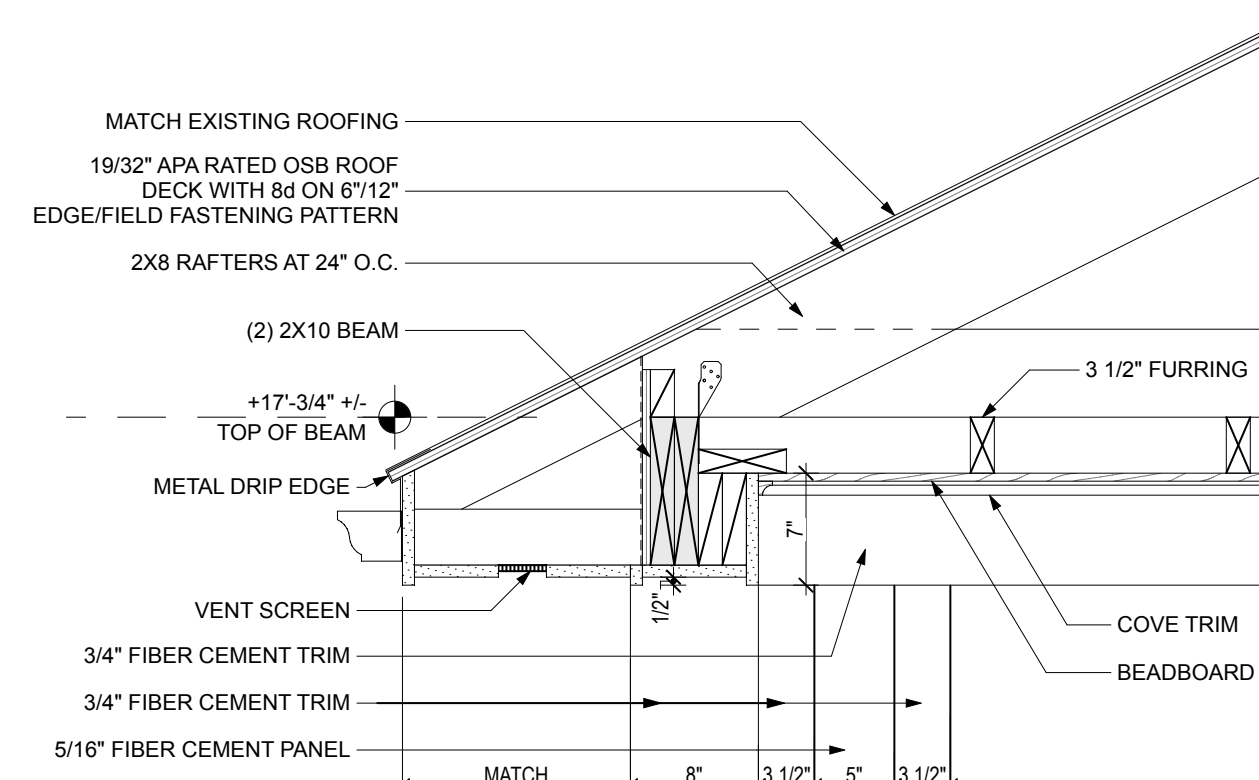




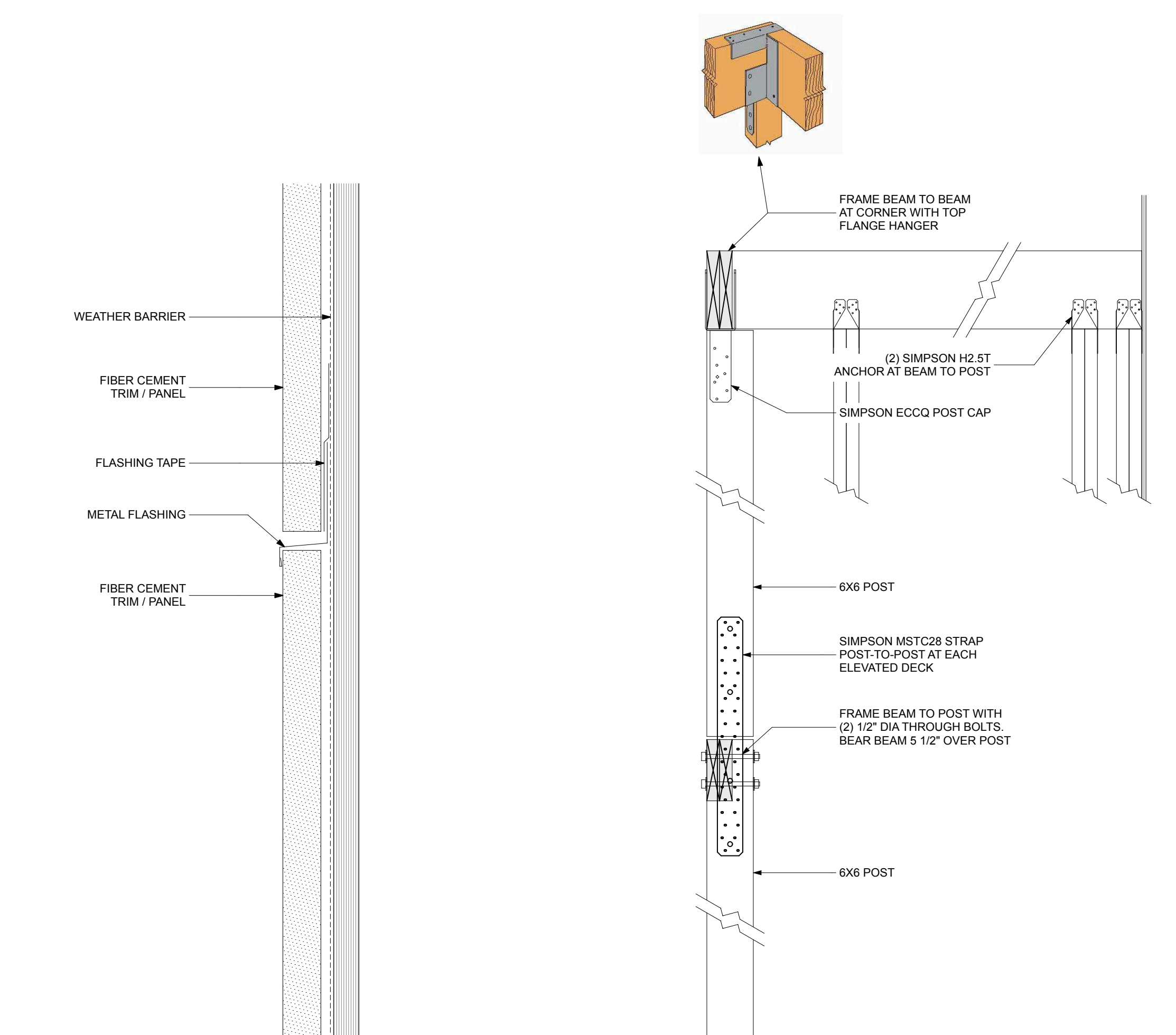
1 Detail Plan
A3
SCALE: 1" = 1'-0"



2 Detail Plan
A3
SCALE: 1" = 1'-0"

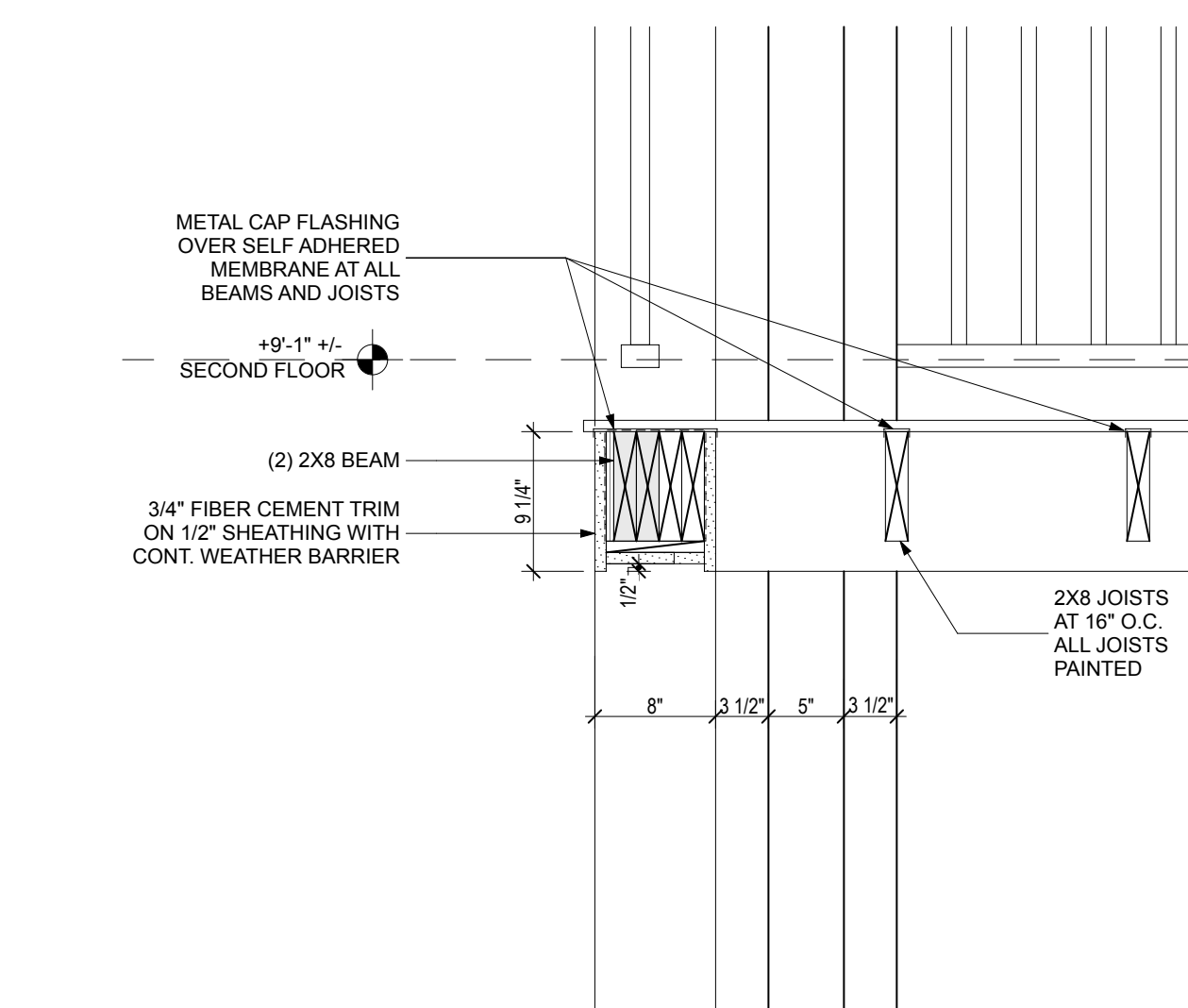


5 Detail Section
A3
SCALE: 1" = 1'-0"

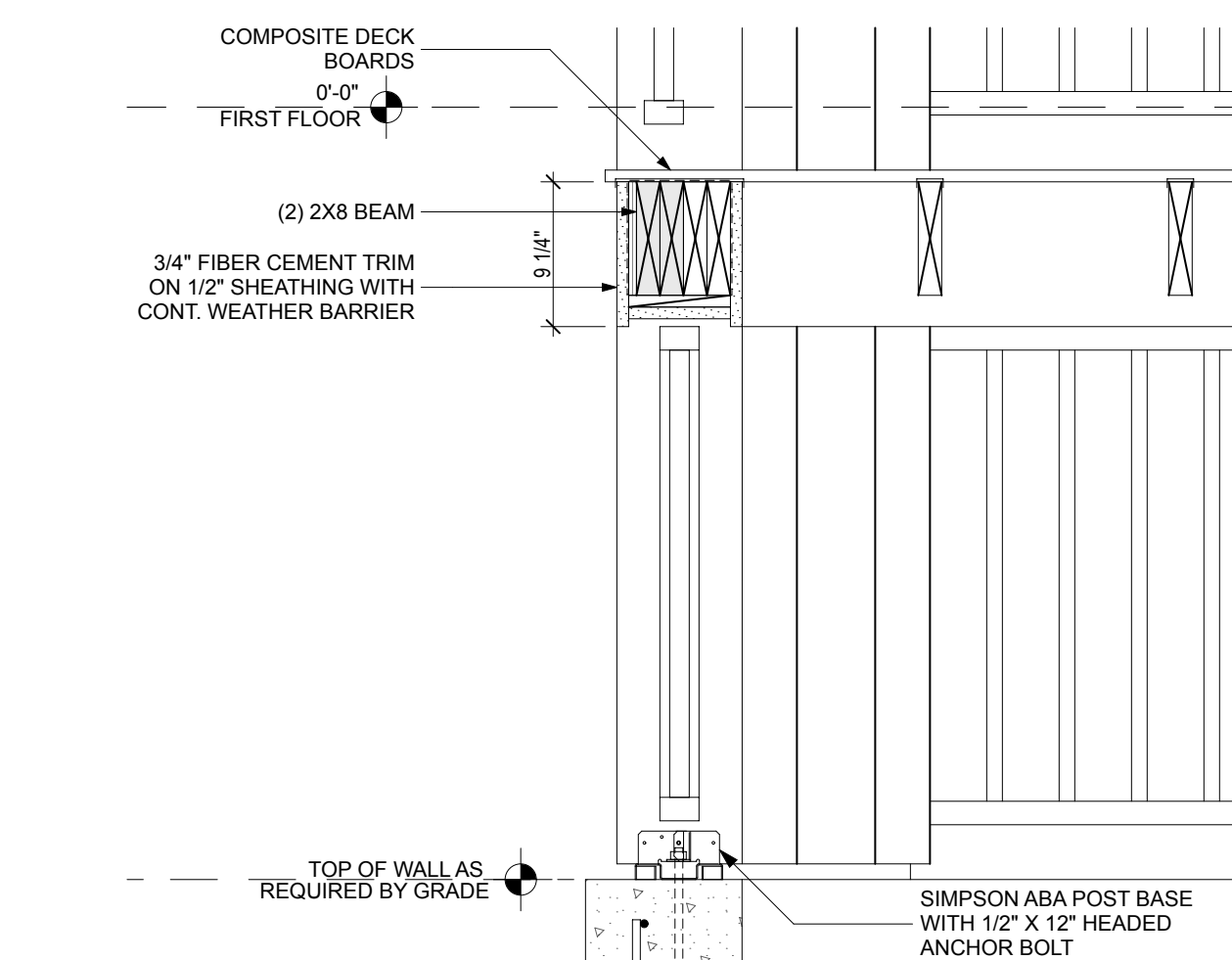


3 Trim Flashing, Typ.
A3
SCALE: 6" = 1'-0"

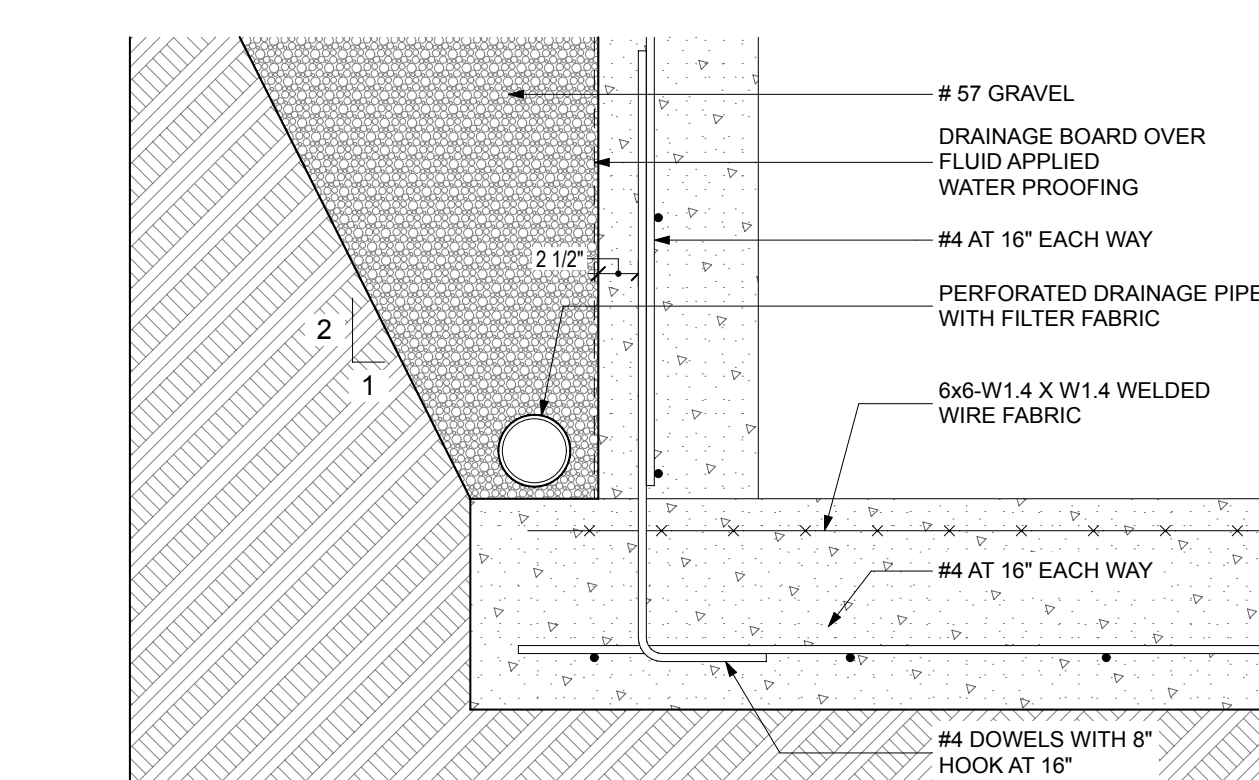
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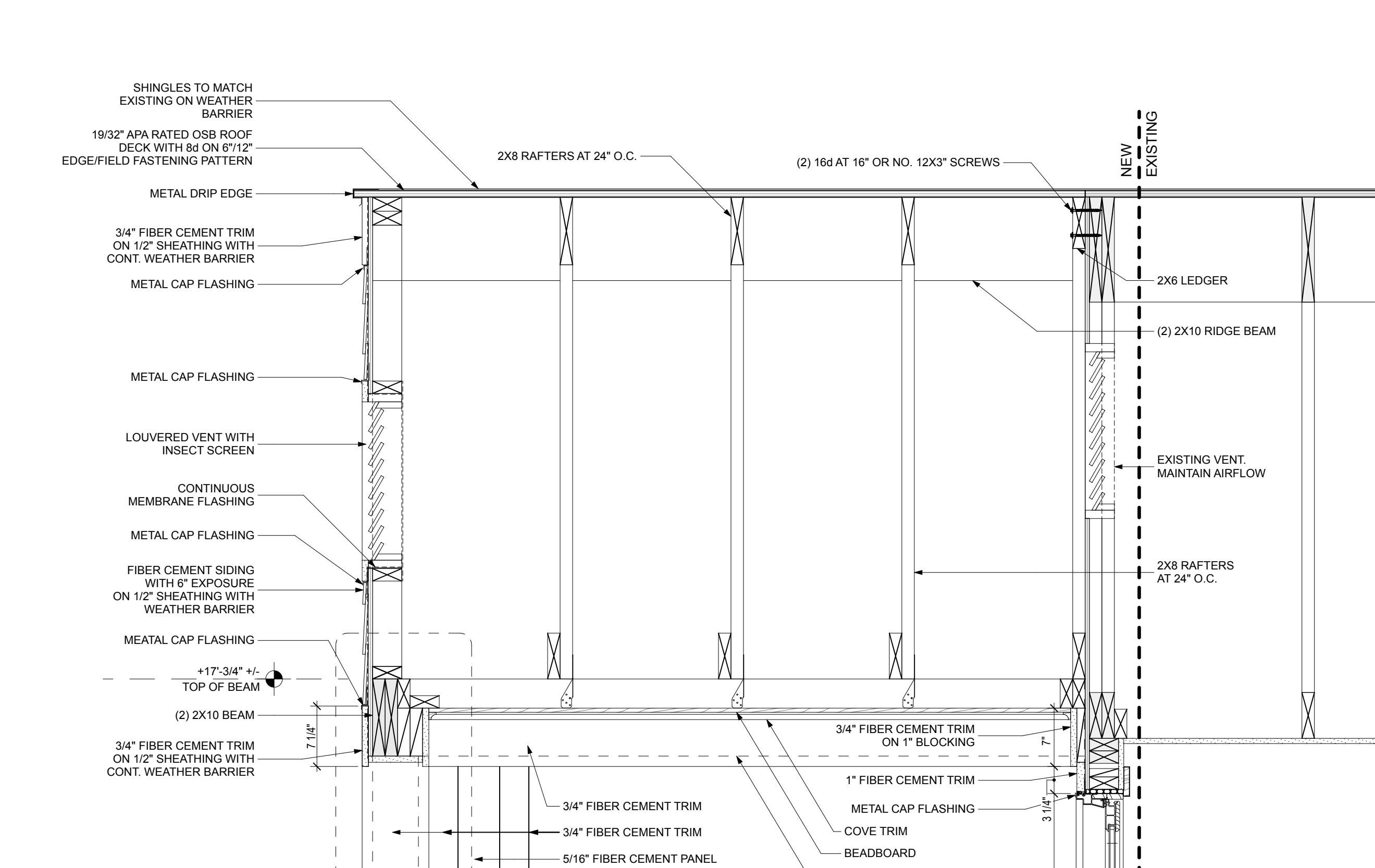
6 Detail Section
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SCALE: 1" = 1'-0"



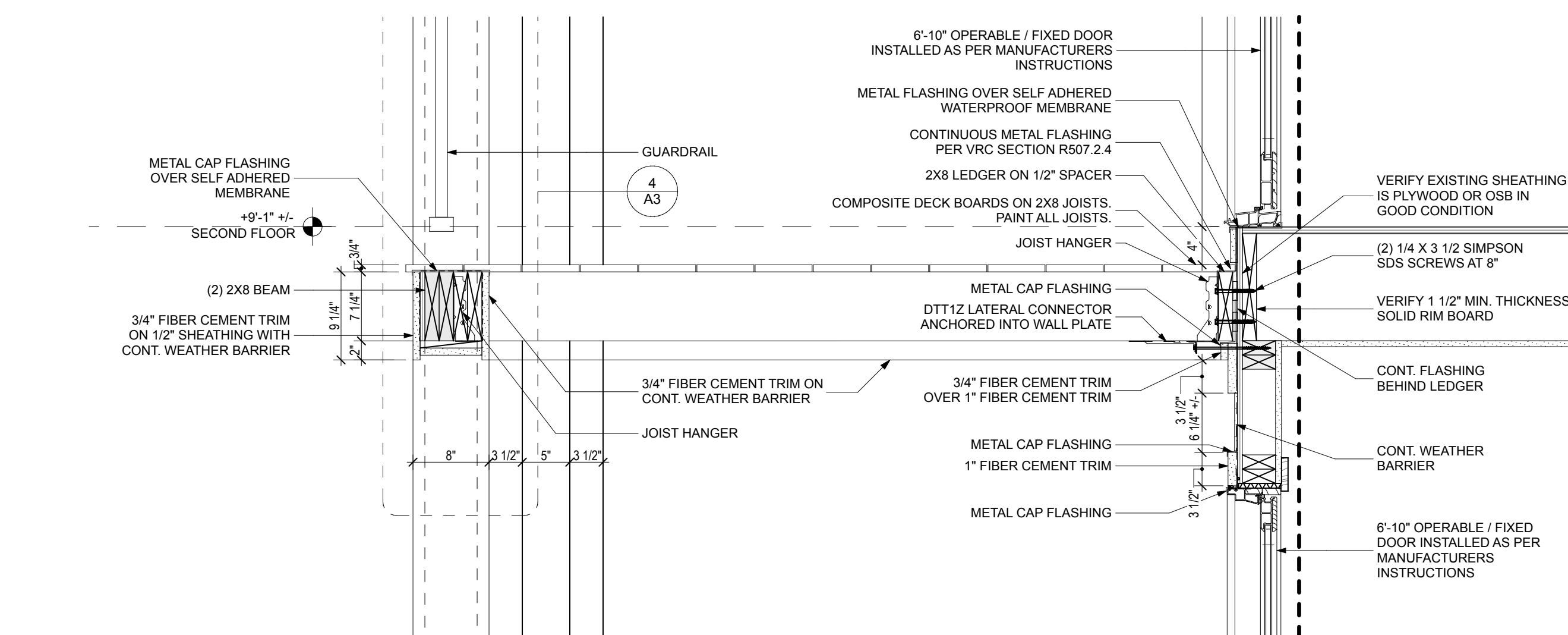
7 Detail Section
A3
SCALE: 1" = 1'-0"



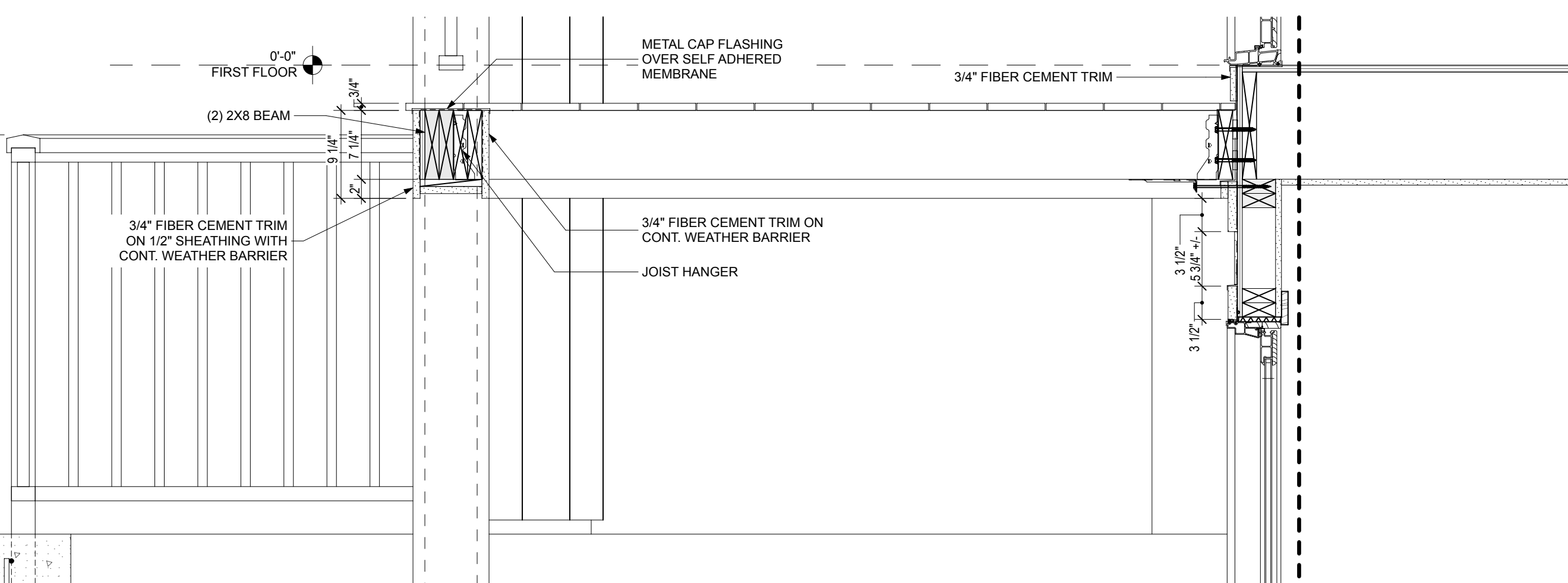
8 Detail Section
A3
SCALE: 1" = 1'-0"



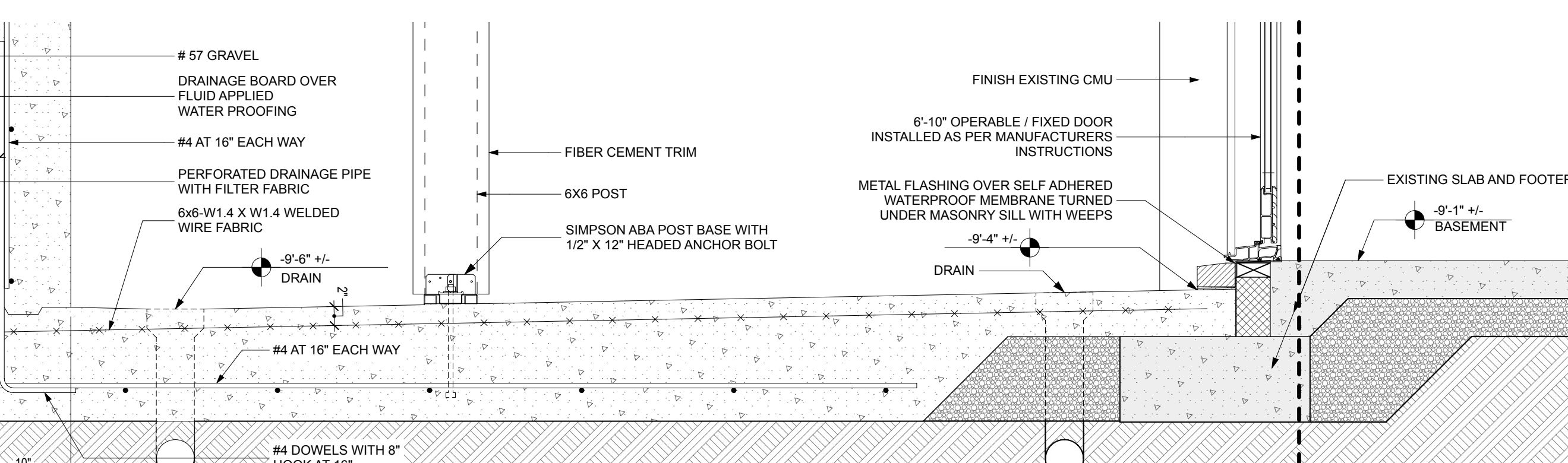
9 Detail Section
A3
SCALE: 1" = 1'-0"




10 Detail Section
A3
SCALE: 1" = 1'-0"



11 Detail Section
A3
SCALE: 1" = 1'-0"



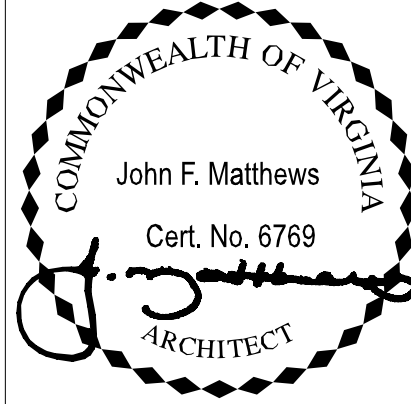
12 Detail Section
A3
SCALE: 1" = 1'-0"



MITCHELL/MATTHEWS
ARCHITECTS & PLANNERS
300 TRINITY PARKWAY, CHARLOTTEVILLE, VA 22906
Tel: 434-979-7550 Fax: 434-979-5220

Richard Spurzen
Neighborhood Properties
1025 Westland Street, Charlottesville, VA 22903

DUNBAR
STRUCTURAL ENGINEER
110 Third St. N.E., Charlottesville, VA 22902
434-293-0171



John F. Matthews
Cert. No. 6769
ARCHITECT

627 Cabell
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Charlottesville, Virginia 22903

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PROJECT		627 Cabell
DATE		2024-04-29
REVISIONS	DATE	DESCRIPTION

A3

**City of Charlottesville
Board of Architectural Review
Staff Report
August 20, 2024**



**Certificate of Appropriateness Application
Historic Conservation District**

BAR # 24-08-04

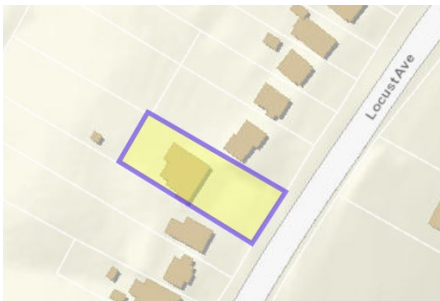
809 Locust Avenue, Tax Map Parcel 510019000

Martha Jefferson HC District

Owner: Sarah and Thomas Shafran

Applicant: Rosney Architects

Project: Addition and alterations to the primary elevation.



Background

Year Built: ca 1947, Early 20th Century American Movement

District: Martha Jefferson HC District

Status: Contributing

(Note: The exterior was modified subsequent to the 2004 survey. See images in the submittal and Appendix.)

Prior BAR Review

n/a

Application

- Applicant Submittal: Rosney Co. Architects submittal *Shafran Residence 809 Locust Avenue*. Narrative with 13 sheets.

Request for CoA to construct a second story addition on a single-story residence.

Discussion and Recommendation

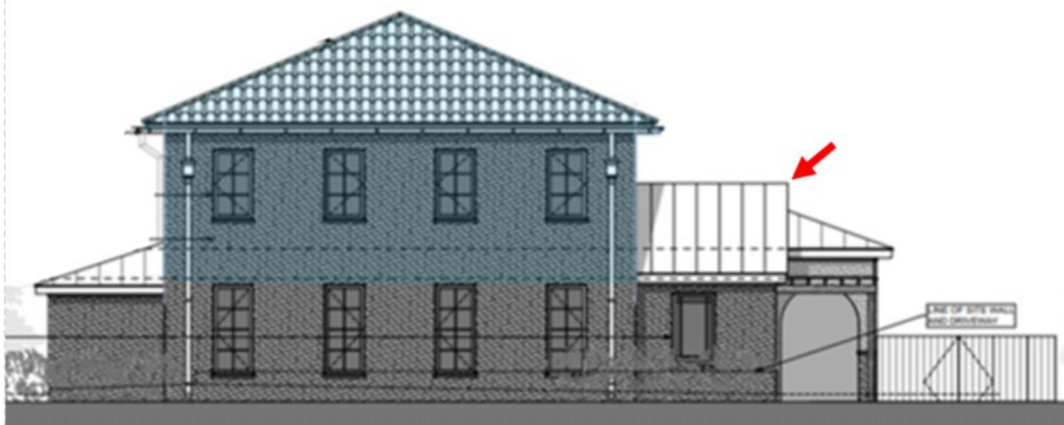
Staff recommends approval of the CoA. Primarily because the exterior of this house has been altered significantly since the 2004 survey of the Martha Jefferson HC District. The proposed alterations are consistent with the Design Guidelines for Historic Conservation Districts, and they are compatible with nearby dwellings, see Appendix. The site, relative to the front yard, will be unchanged.

Within an HCD, the BAR's purview is limited to what is visible from the public right of way. Additionally, this dwelling is sited approximately 100-feet from the right of way--double what is typical for this side of Locust Ave.—and the grade at the house is 10-feet below the street. With those in mind, staff recommends the BAR focus its review on the primary façade.

809 Locust Ave: From applicant's submittal



Front elevation: Existing



Front elevation: Proposed

Topography (City GIS)



Note: The regulations and guidelines for projects within a Historic Conservation District (HCD) are, by design, less rigid than those for an ADC District or an IPP. The HCD designations are intended to preserve the character-defining elements of the neighborhoods and to assure that new construction is not inappropriate to that character, while minimally imposing on current residents

who may want to upgrade their homes. Within the existing HCDs are buildings and/or areas that might easily qualify for an ADC District or as an IPP; however, in evaluating proposals within HCDs, the BAR may apply only the HCD requirements and guidelines.

Suggested Motion

Approval: Having considered the standards set forth within the City Code, including the HC District Design Guidelines, I move to find that the alterations to 809 Locust Avenue satisfy the BAR's criteria and are compatible with this property and other properties in the Martha Jefferson Historic Conservation District, and that the BAR approves the application as submitted.

Criteria, Standards, and Guidelines

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.2:

Historic Conservation District: Review of the proposed construction, reconstruction, alteration, or restoration of a building or structure is limited to the exterior architectural features, including signs, and the following features and factors:

- a. Whether the form, height, scale, mass, and placement of the proposed construction are visually and architecturally compatible with the site and the applicable conservation district;
- b. The harmony of the proposed changes in terms of overall proportion and the size and placement of entrances and windows;
- c. The impact of the proposed changes on the essential architectural form and integrity of the existing building;
- d. The effect of the proposed change on the adjacent building or structures; and
- e. Any applicable provisions of the City's design guidelines.

Design Guidelines for the Historic Conservation Districts

New Construction and Additions

Building Location – setback and spacing

1. Align a new building close to the average building setback line on the same street, if established, or consistent with the surrounding area.

2. Maintain average spacing between buildings on the same street.

Building Scale – height and massing

1. Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.
2. Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.
3. An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.
4. An accessory building should appear secondary to the main building in scale and design.
5. Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.

Building Form – roofs and porches

1. Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.
2. If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.

Building Openings – orientation, doors and windows

1. A single entrance door (or main entrance of a multifamily dwelling) facing the street is recommended.
2. Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.
3. Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.

Building Materials and Textures

1. The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.
2. Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.

Building Paint

1. Painting unpainted brick or other masonry is discouraged because it is irreversible and may cause moisture problems.

Site

1. Fences or walls that abut a City street (or fences located in a side yard between a street and the front of the principal structure on a lot) should not exceed three and one-half feet in height.

Martha Jefferson Historic Conservation District

Architectural character-defining features:

1. Encourage one-story front porches;

2. Encourage garages to be located in the rear yards;
3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors];
4. Do not exclude well-designed, new contemporary architecture [there may be a misconception that only historic-looking new buildings are permitted];
5. Encourage standing seam metal roofs;
6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees];
7. The following Historic Conservation Overlay District Design Guidelines are especially pertinent:
 - a. maintain neighborhood massing and form;
 - b. encourage the use of sustainable materials; and
 - c. limit the height of fences in front yards to 3 ½ feet in height.
8. Regarding the future development of the hospital properties, the neighborhood's focus has been:
 - a. Not to tear down the old houses; to encourage low density residential development north of Taylor Walk (with the suggestion that Taylor Street be reinstated); and
 - b. to expect the High Street area to develop as a sensitively designed, high-quality, mixed use development;
9. Encourage good stewardship of Maplewood Cemetery.

Appendix

From the 2014 survey for the Martha Jefferson Historic District



Google Street View 2017



Google Street View 2023



c1965 Sanborn Map



2022 aerial image



Dwellings near 809 Locust Ave



731 Locust Ave (1917)



737 Locust Ave (1917)



801 Locust Ave (1928)



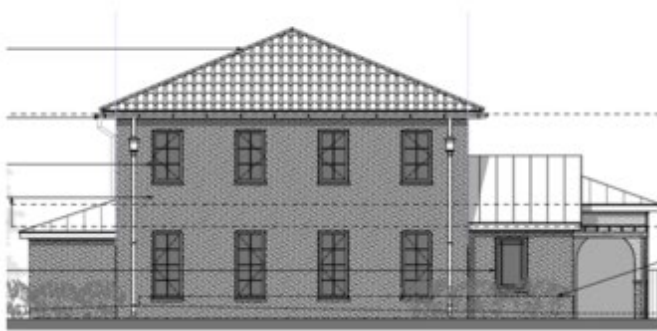
803 Locust Ave (2008)



805 Locust Ave (1950)



807 Locust Ave (1955)



809 Locust Ave (proposed)



813 Locust Ave (1951)



815 Locust Ave (1954)



824 Locust Ave (1916)



833 Locust Ave (1930)



841 Locust Ave (1936)

809 Locust Avenue



TM/P: 51/19

DHR: 104-5144-0104

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Late 19th and Early 20th Century American Movement, ca 1947

August 2007: This one-story, five-bay, stucco-finished, side-gabled house has a frame addition to the north elevation and a screened-in porch attached to the south elevation. Each of the two side bays has a single six/six-sash window with shutters and the door occupies the central bay. The roof is covered in asphalt shingles and a brick chimney is visible on the rear of the house.

Evelyn Hasher Perkins constructed the dwelling between 1947 and 1949.

Individual Resource Status: **Single Dwelling**

Contributing Total: 1

{ ROSNEY Co }

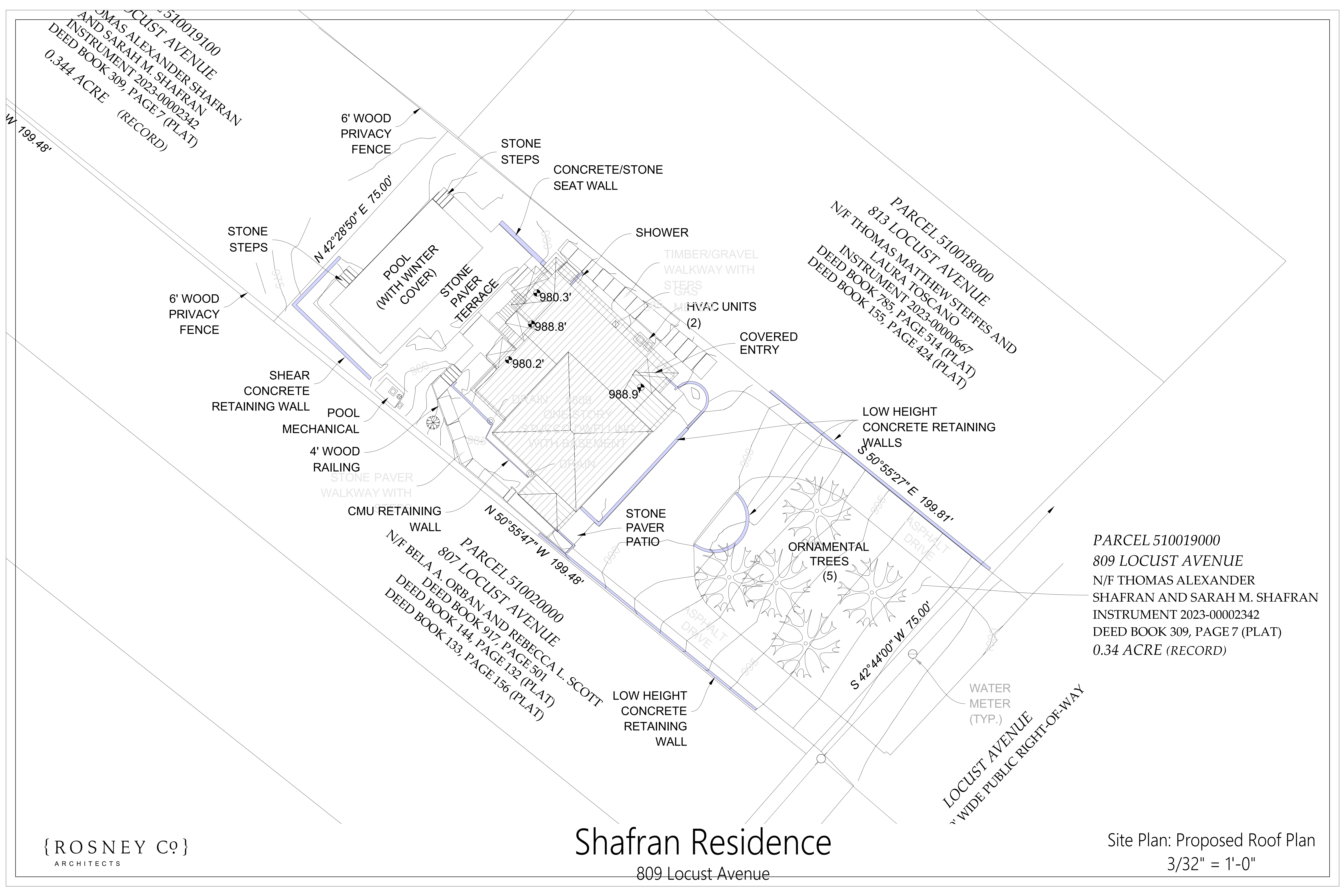
ARCHITECTS

809 Locust Avenue Addition and Alterations Alex and Sarah Shafran

Project Description

Alex and Sarah Shafran request permission to add a second story to the primary central section of their existing residence at 809 Locust Avenue – while maintaining the one story wings on both sides as well as the rear. Given the deep setback from the road of this particular house, the additional height will not only provide much needed living space without expanding the footprint, it will significantly enhance the property's street presence.

The residence has been significantly altered since the completion of the 2010 survey (see photo). Given that the historic 1940s structure and its details are now undecipherable, the addition seeks to enhance the Spanish style of the current exterior. To do that, the new second story will be topped with a low slope hipped roof with a deep eave and will be covered in S shape clay tiles. The gutters, downspouts and collection boxes will be dark bronze. The Marvin windows will be casement (to match existing) clad in Marvin's *bronze*. These new, symmetrically placed windows will define the front façade. The existing windows on the first floor of the central body will be replaced with taller ones to match their counterparts in the new second story above. Where existing windows in the central bay are removed, will we infill with new stucco, painted to match. The windows outside the central body are to remain, but will be painted to match the new. The stucco will be repainted throughout to match the new. The entire project will serve to give the house a soft and elegant presence from Locust Avenue.











2010 Survey



Current



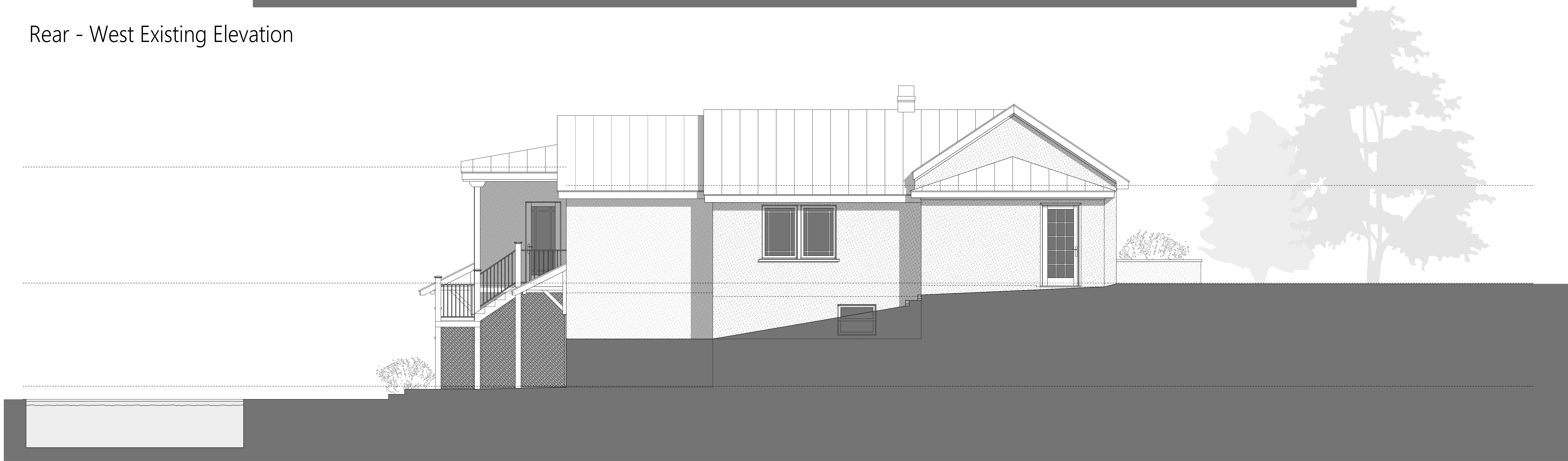
Front - East Existing Elevation



Side - North Existing Elevation



Rear - West Existing Elevation



Side - South Existing Elevation

Shafran Residence

809 Locust Avenue



existing



proposed





{ ROSNEY CO }
ARCHITECTS

Shafran Residence

809 Locust Avenue

3d View
not to scale

ROOF ASSEMBLY:
1" CLAY TILE SHINGLES OVER
WATERPROOF UNDERLAYMENT OVER
3/4" PLYWD SHEATHING OVER
PRE-ENGINEERED ROOF TRUSSES
W/ CELLULOSE INSUL, R-VALUE PER CODE, OVER
5/8" GYP BD, PRIMED & PTD, 2 COATS MIN

2X INSUL BLOCKING
18" STRIP OF HIGH TEMP SELF-ADHERING
MODIFIED BITUMEN MEMBRANE
COPPER FORMED DRIP EDGE W/ 1/2" HEM
EAVE CLOSURE
1X8 PTD WD FASCIA BOARD OVER 2X8 SUBFASCIA
6" HALF ROUND COPPER GUTTER

2X6 RAFTER TAIL
1X4 PTD T&G WD SOFFIT BOARDS
1X6 PTD WD FRIEZE BOARD OVER 5/4 SUBFRIEZE

20 OZ COPPER CONDUCTER HEAD
4" ROUND COPPER DOWNSPOUTS
CASEMENT WITH 4 9/16" JAMBS SET
2" INTO WALL TO MATCH EXISTING GROUND
FLOOR WINDOW PLACEMENT

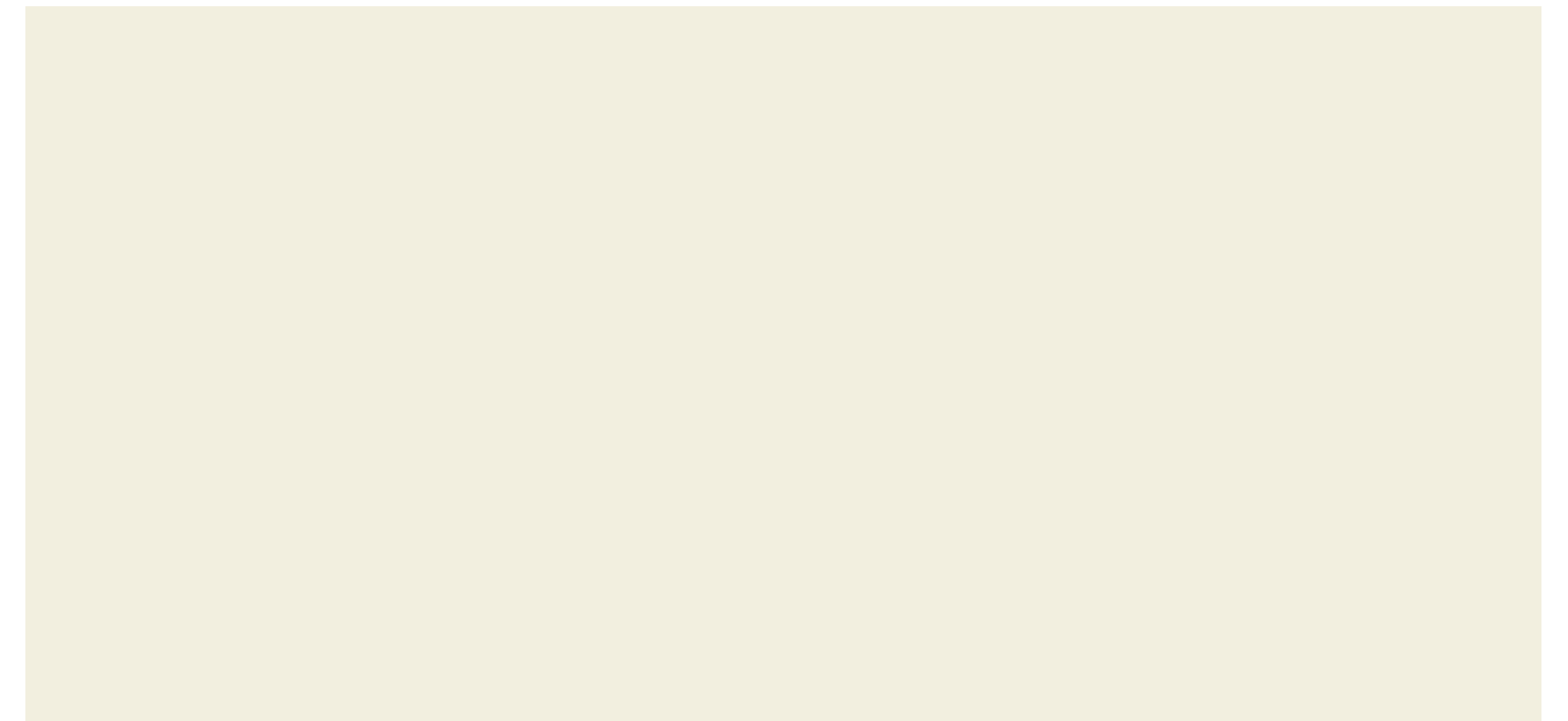
SECOND FLOOR WALL ASSEMBLY:
1" PTD STUCCO W/ METAL LATH OVER
1/2" ZIP SHEATHING OVER
2X6 @ 16" OC W/ CELLULOSE INSUL,
R-VALUE PER CODE, OVER
1/2" GYP BD, PRIMED & PTD, 2 COATS MIN

SECOND FLOOR ASSEMBLY:
CARPET OVER
3/4" ADVANTECH T&G SUBFLOOR OVER
11 7/8" TJI @ 16" OC W/ SOUND BATTS OVER
5/8" GYP BD CLG, PRIMED & PTD, 2 COATS MIN

11 7/8" LSL RIM BOARD
PT 2X8 SILL PLATE W/ 1/2" DIA AB



Luduici Roofing Spanish 13 Barrel Tile



Benjamin Moore Acadia White OC 38 House Color



Precedent Images

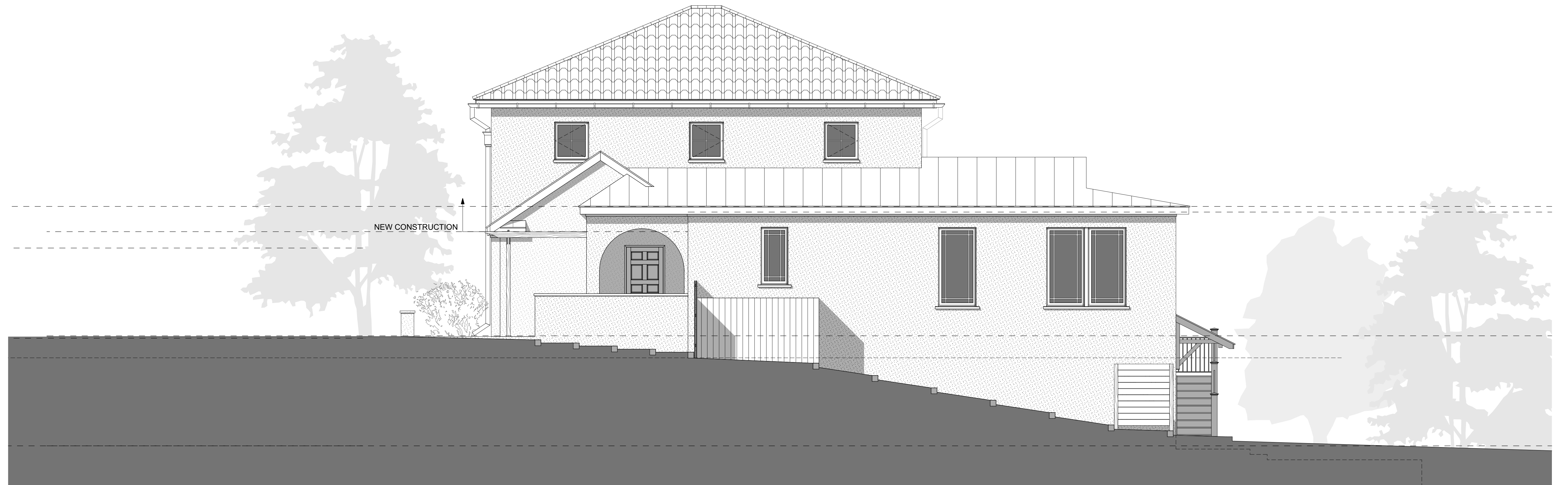


Marvin Windows Bronze Window Cladding

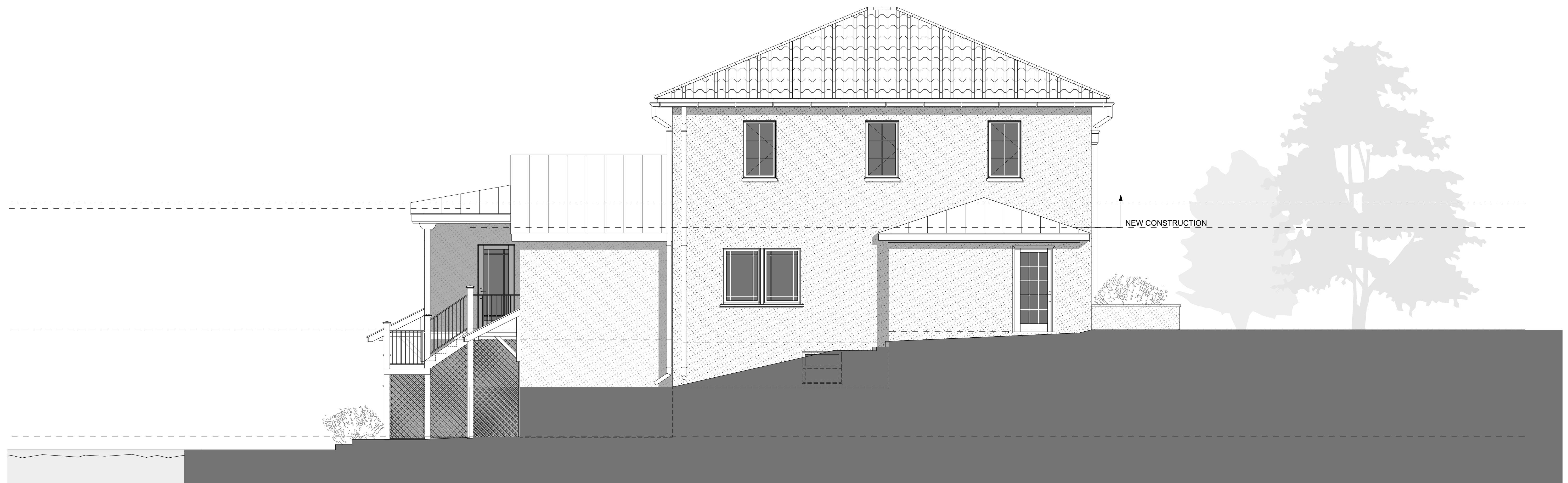


Dark Bronze gutter system

north facade



south facade



{ ROSNEY CO }
ARCHITECTS

Shafran Residence

809 Locust Avenue

Side Elevations
1/4" = 1'-0"

City of Charlottesville
Board of Architectural Review
Staff Report
August 20, 2024



Certificate of Appropriateness

BAR # 24-08-02

7 Gildersleeve Wood; TMP 110017100

Oakhurst Circle-Gildersleeve ADC District

Owners/Applicants: Mary and Scott Prior

Project: Construction of entry portico



Background

Year Built: 1955 (most recent house in district)

District: Oakhurst-Gildersleeve ADC District

Status: Contributing

Style: Colonial Revival, brick dwelling. The architectural survey is attached.

Prior BAR Reviews

April 17, 2007 – BAR approved CoA for a 2-story, rear addition with adjoining mud room.

Application

- Images and drawings, *7 Gildersleeve Wood. Proposed entry portico. BAR August 20, 2024*, dated 8/13/2024, 7 pages.

Request CoA for construction of a portico at the front entrance.

Existing



Proposed



- The existing brick stoop and steps will be retained.
- The existing entry door and wood storm door will be retained.
- The existing arched pediment will be replaced with a panel to fit the arch of the new portico; however, the panel will replicate (or retain) the profile and decorative detail of the existing crosshead.
- The existing pilasters will be replaced to match the new columns.
- The portico roof will be standing-seam metal, painted green, to match the house roof.
- The existing wall sconce will be replaced with a new fixture, suspended from the portico arch. (Fixture has not been selected.)
- The new metal railing shown on the architectural drawings will be omitted.

Discussion and Recommendation

Within the district, 45 (75%) of the 60 primary structures dates from 1912 to 1939. Seven were constructed in the 1940s; eight between 1950 and 1955. Within the district, 7 Gildersleeve Wood (1955) is the most recent house and one of 28 designed in the Colonial Revival style.

Staff recommends approval of the requested CoA. While the proposed portico is an alteration that will replace original elements, it is architecturally appropriate for this Colonial Revival dwelling, such that it will not redefine or compromise the historic character of the structure or the district. [In the Appendix are photos of two-story brick, Colonial Revival houses with a portico entrance.]

Because this is a minor alteration—versus an addition to the house--staff did not apply the guidelines for New Construction and Additions, which recommend new work be differentiated from the old. Instead, staff applied the guidelines for Rehabilitations [for *Entrances, Porches, and Doors*] and portions of the guidelines for Demolitions. which allow for alterations that do not *radically change entrances and porches important in defining the building's overall historic character.*

Constructing the portico will require removing the existing pilasters and arched-pediment. While likely original to the house, these elements are not unique, an infrequent or the first or last remaining example within the City (see Appendix), and they are not the work of a noted architect or master craftsman. The house is not associated with an important event or individual. In brief, while a contributing resource to this historic district, it is likely not eligible for individual listing.

Because the portico design is appropriate for a Colonial Revival house, replacing the original elements will not impair the essential form and integrity of this historic property or the district. Additionally, construction this portico will not prevent or preclude later reproduction and installation of the original elements. [The applicant has documented the entrance with detailed photographs, which will become memorialized in the BAR archive.]

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed portico at 7 Gildersleeve Wood satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR [approves the request].

Or [approves the request with the following conditions:]

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed portico at 7 Gildersleeve Wood, does not satisfy the BAR's criteria and is not compatible with this property and other properties in this ADC District, and that for the following reasons the BAR denies the request: [...]

Criteria, Standards, and Guidelines

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Re: building height. Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

The Secretary of the Interior's Standards for Rehabilitation

<https://www.nps.gov/subjects/taxincentives/upload/regs-nps-36-cfr-67.pdf>

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 3 New Construction and Additions](#)

[Chapter 4 Rehabilitation](#)

[Chapter 7 Moving and Demolition](#)

Pertinent ADC District Design Guidelines

Chapter 4 - Rehabilitation

D. Entrances, Porches, and Doors

- 1) The original details and shape of porches should be retained including the outline, roof height, and roof pitch.
- 2) Inspect masonry, wood, and metal on porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.
- 3) Repair damaged elements, matching the detail of the existing original fabric.
- 4) Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.
- 5) Do not strip entrances and porches of historic material and details.
- 6) Give more importance to front or side porches than to utilitarian back porches.
- 7) Do not remove or radically change entrances and porches important in defining the building's overall historic character.
- 8) Avoid adding decorative elements incompatible with the existing structure.

- 9) In general, avoid adding a new entrance to the primary facade, or facades visible from the street.
- 10) Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.
[...]
- 14) The original size and shape of door openings should be maintained.
- 15) Original door openings should not be filled in.
- 16) When possible, reuse hardware and locks that are original or important to the historical evolution of the building.
- 17) Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.
[...]

Chapter 7 - Demolitions

B. Demolition of Historic Structures

Review Criteria for Demolition

- 1) The standards established by the ~~City Code, Section 34-278~~. [Updated code reference below.]
- 2) The public necessity of the proposed demolition
- 3) The public purpose or interest in land or buildings to be protected.
- 4) Whether or not a relocation of the structure would be a practical and preferable alternative to demolition.
- 5) Whether or not the proposed demolition would adversely or positively affect other historic buildings or the character of the historic district.
- 6) The reason for demolishing the structure and whether or not alternatives exist.
- 7) Whether or not there has been a professional economic and structural feasibility study for rehabilitating or reusing the structure and whether or not its findings support the proposed demolition.

Sec 5.2.7.D.1.

- b. Review is limited to following factors in determining whether or not to permit the moving, removing, encapsulation or demolition, in whole or in part, of a contributing structure or IPP:
 - i. The historic, architectural, or cultural significance, if any, of the specific structure or property, including, without limitation:
 - a. The age of the structure or property;
 - b. Whether it has been designated a National Historic Landmark, listed on the National Register of Historic Places, or listed on the Virginia Landmarks Register;
 - c. Whether, and to what extent, the building or structure is associated with an historic person, architect or master craftsman, or with an historic event;
 - d. Whether the building or structure, or any of its features, represent an infrequent or the first or last remaining example within the City of a particular architectural style or feature;
 - e. Whether the building or structure is of such old or distinctive design, texture, or material that it could not be reproduced, or could be reproduced only with great difficulty; and
 - f. The degree to which distinguishing characteristics, qualities, features, or materials remain;
 - ii. Whether, and to what extent, a contributing structure is linked, historically or aesthetically, to other buildings or structures within an existing applicable District, or is one of a group of properties within such a district whose concentration or continuity possesses greater significance than many of its component buildings and structures.

- iii. The overall condition and structural integrity of the building or structure, as indicated by studies prepared by a qualified professional engineer and provided by the applicant, or other information provided to the BAR;
- iv. Whether, and to what extent, the applicant proposes means, methods or plans for moving, removing, or demolishing the structure or property that preserves portions, features, or materials that are significant to the property's historic, architectural, or cultural value; and
- v. Any applicable provisions of the City's design guidelines.

Appendix:
Examples of porticos.



600 Rugby Road (1925)



21 University Cir. (1922)



21 University Cir. (1928)



40 University Cir. (1924)



1880 University Cir. (1957, non-contributing)
BAR approved addition of portico.



510 14th St, NW (1938)

Examples of porticos.



1621 Gordon Ave (1940)



735 Northwood Ave. (1935)



25 University Cir. (1922)



519 14th St, NW (1924)



628 Evergreen Ave (1939)



636 Park St (1948)

Examples of pediments with pilasters.



102 Oakhurst Cir. (1925)



1300 Wertland St. (1930)



700 Northwood (1935)



917 Rugby Rd. (c1929)



675 Evergreen Ave (1930)



622 Evergreen Ave (1952)

Examples of pediments with pilasters.



421 Park Street (1909)



921 Rugby Rd. (c1929)



933 Rugby Rd. (c1929)



1600 Grady Ave (1923)



612 Preston Pl (1929)



625 Preston Pl (1936)

7 Gildersleeve Wood (DHR # 104-5092-0015)



STREET ADDRESS:	7 Gildersleeve Wood
MAP & PARCEL:	11-17.1
PRESENT ZONING:	R-1U
ORIGINAL OWNER:	Mildred Kauffman
ORIGINAL USE:	Residential
PRESENT USE:	Residential
PRESENT OWNER:	Michael & Mary Elizabeth Prior
ADDRESS:	Michael & Mary Elizabeth Prior 7 Gildersleeve Wood Charlottesville, VA 22903
DATE/ PERIOD:	Ca. 1955
STYLE:	Colonial Revival
HEIGHT IN STORIES:	2.0 Stories
DIMENSIONS AND LAND AREA:	2074 sq.ft./0.418 Acres
SOURCES:	Charlottesville City Records and 2004 Architectural Survey
CONTRIBUTING:	Yes

ARCHITECTURAL DESCRIPTION

This 2-story, 3-bay, gable-roofed (asphalt shingle), Colonial Revival-style brick dwelling was constructed ca. 1955. The brick walls are laid in common bond and the house features an exterior-end brick chimney, 8/8 and 6/6-sash windows, louvered shutters, and

a round-arched door surround. A 1-story, shed-roofed, side frame wing extends to the south while a 1-story, shed-roofed, side brick wing extends to the north.

HISTORICAL DESCRIPTION

This dwelling was constructed ca. 1955 by Mildred Kauffman, who was widow of UVA professor Frank S. Kauffman, Jr. The builder was Charles C. Yowell, Jr. and the plans supposedly came from a patternbook. It is a contributing element to the potential Oakhurst-Gildersleeve Neighborhood Historic District.



North elevation (side): Existing



West elevation: Existing



North elevation (side): Proposed - conceptual

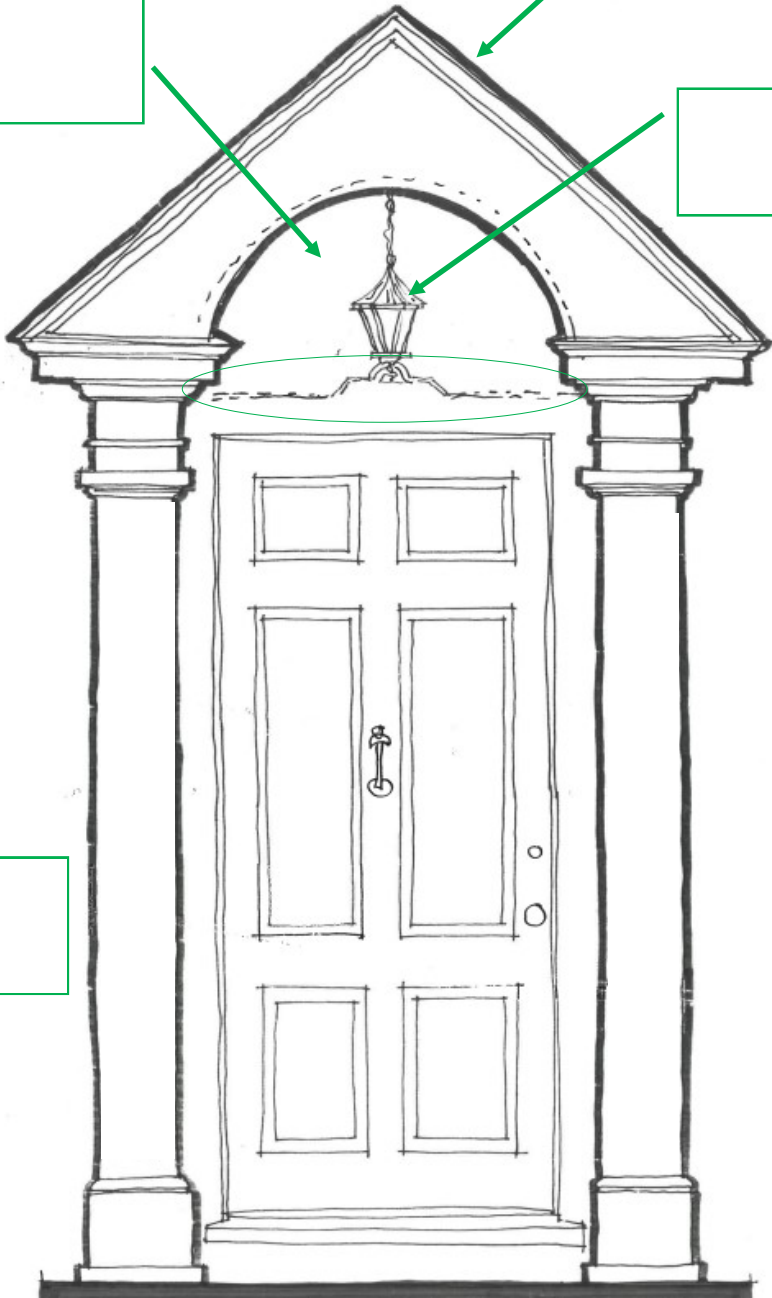


West elevation: Proposed portico - conceptual

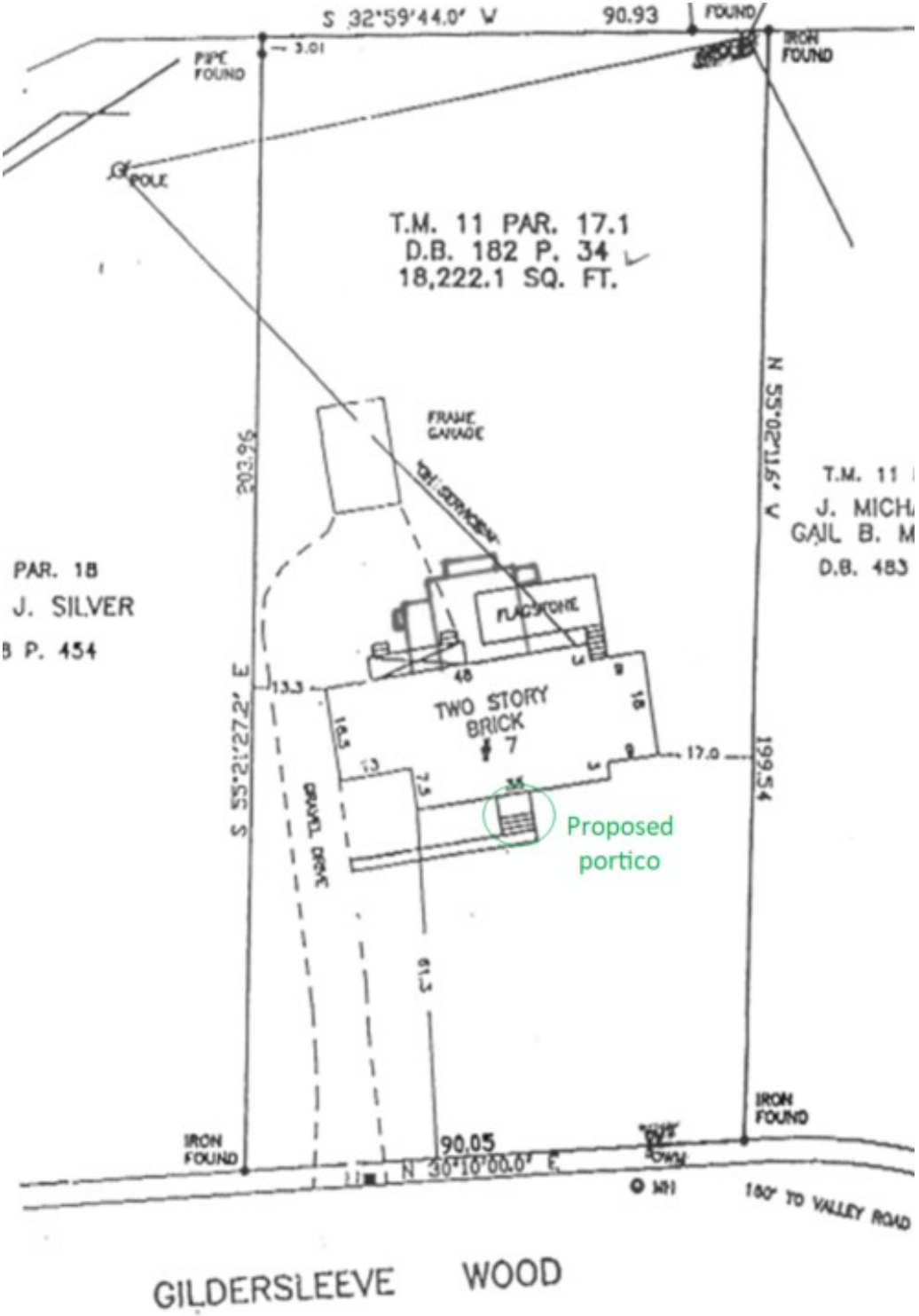
**Metal railing to
be omitted.**



Existing brick stoop to remain.



Standing-seam metal roof to match house.



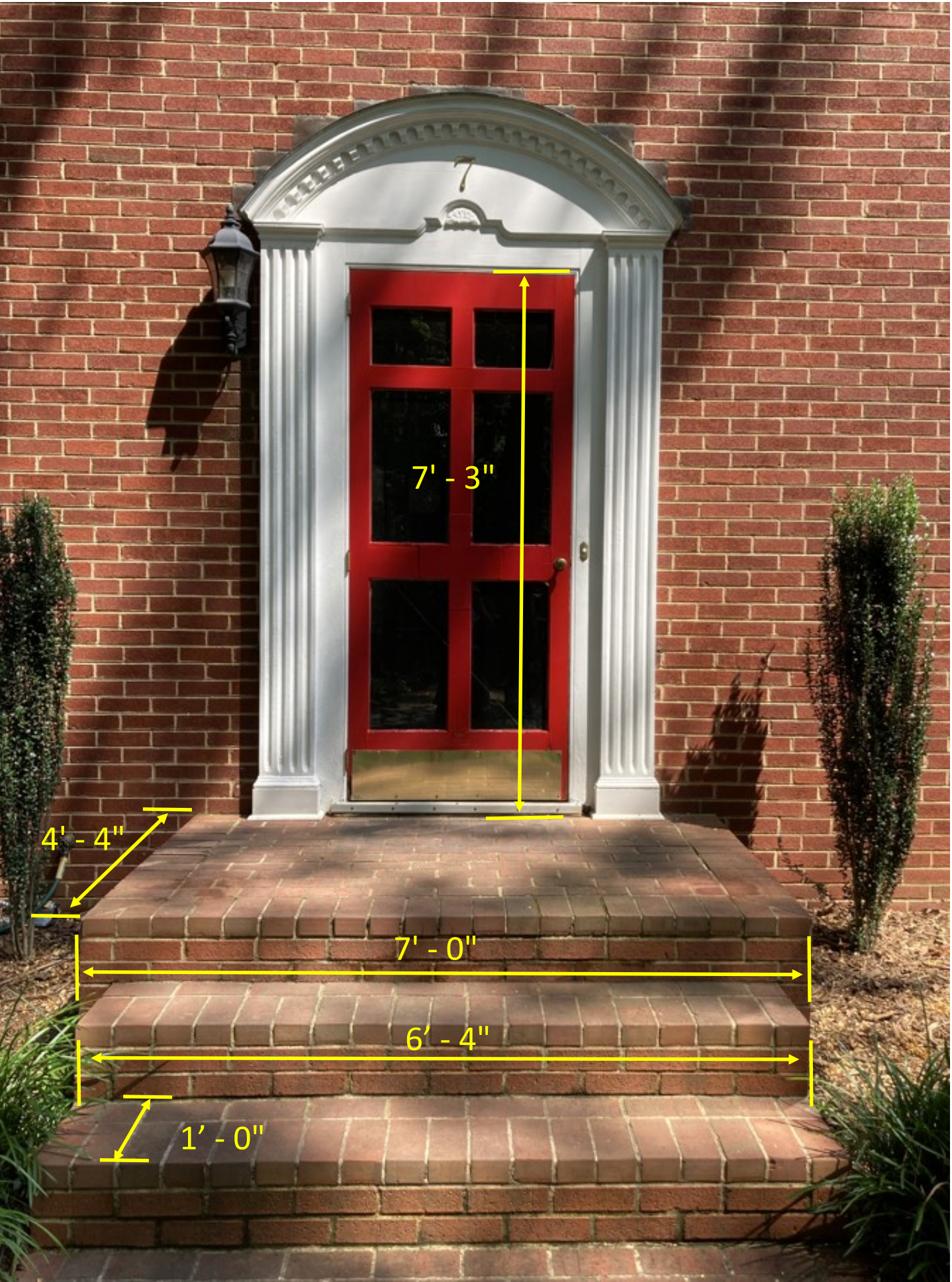
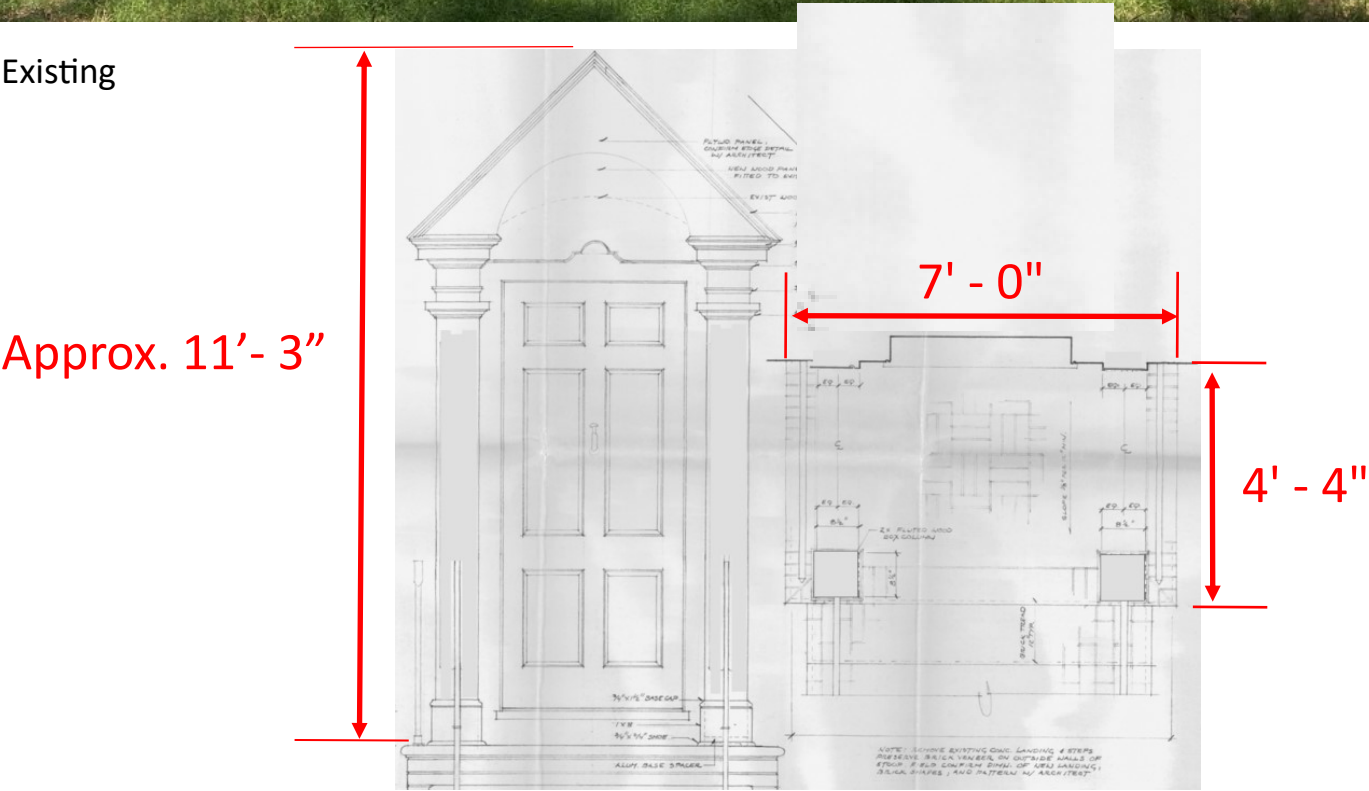


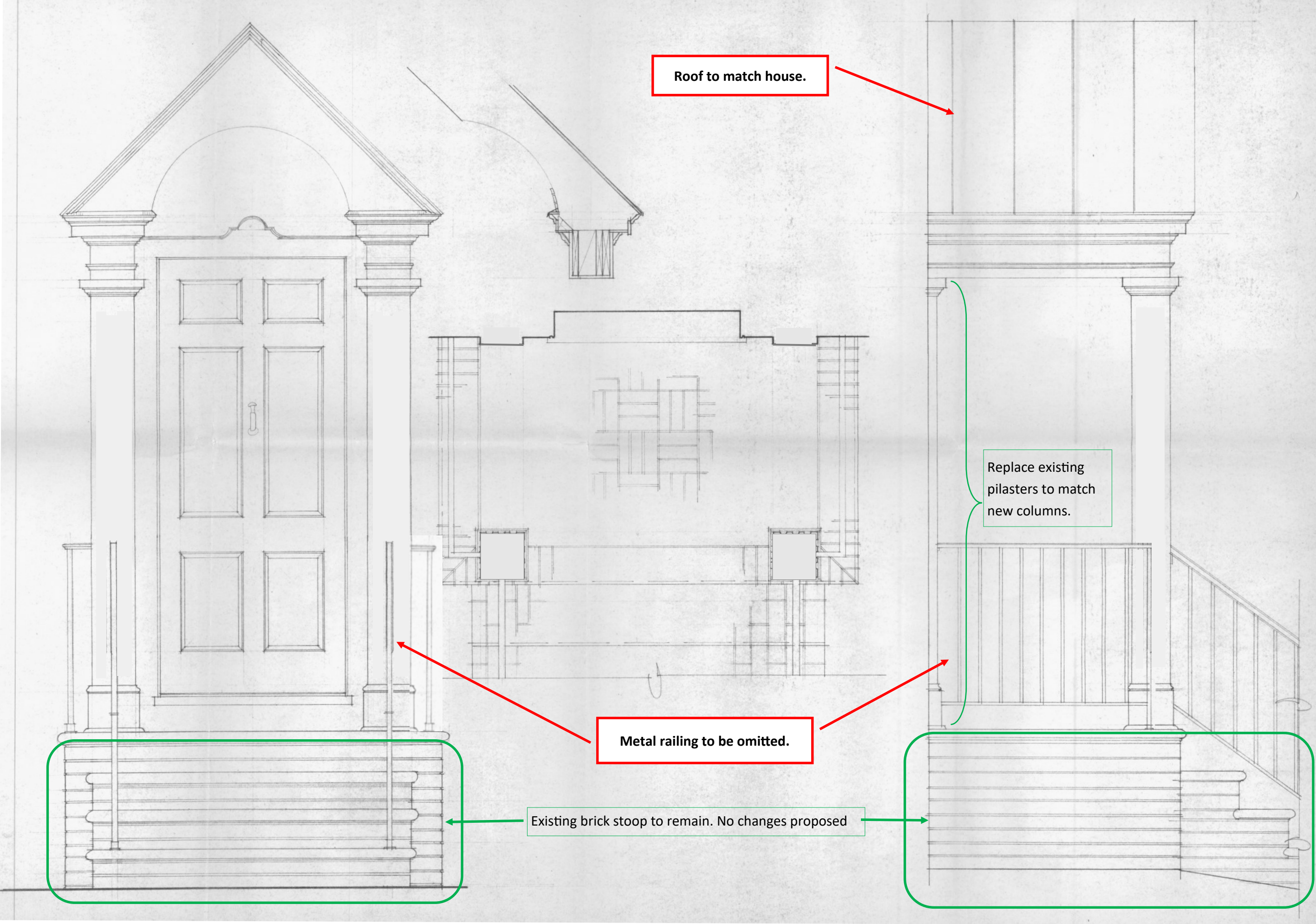
West elevation: Existing

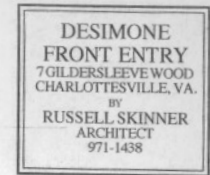




West elevation: Existing









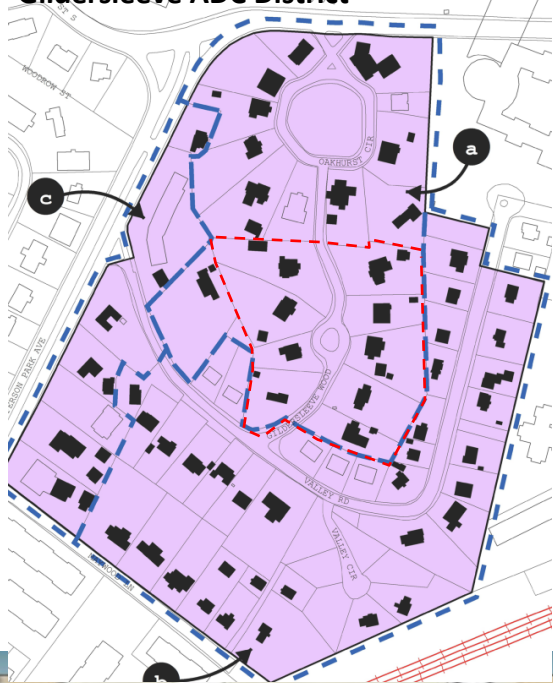
1 GILDERSLEEVE WOOD (1925)



2 GILDERSLEEVE WOOD (1930)



3 GILDERSLEEVE WOOD (1928)



5 GILDERSLEEVE WOOD (1921)



6 GILDERSLEEVE WOOD (1926)



7 GILDERSLEEVE WOOD (1955)



8 GILDERSLEEVE WOOD (1930)



9 GILDERSLEEVE WOOD (1922)



12 GILDERSLEEVE WOOD (1925)

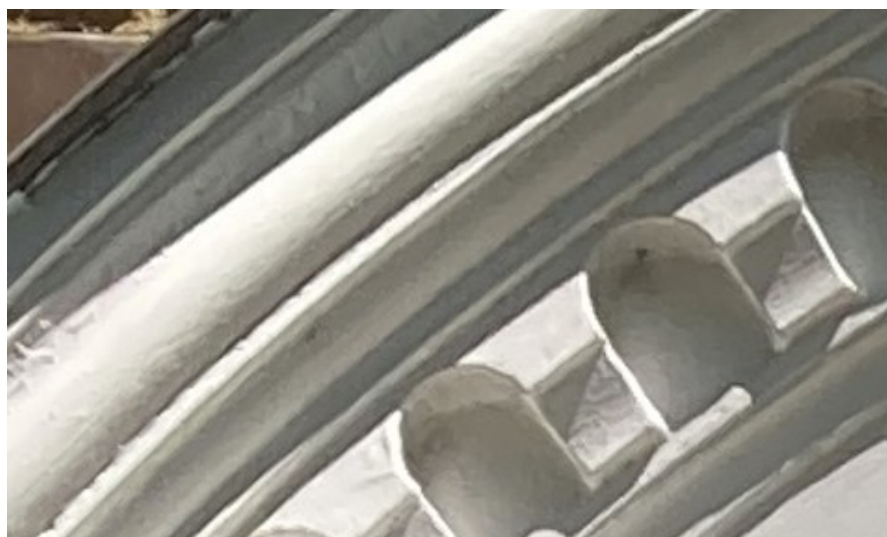
7 Gildersleeve Wood. Documentation of existing entry door trim and pediment. August 22024



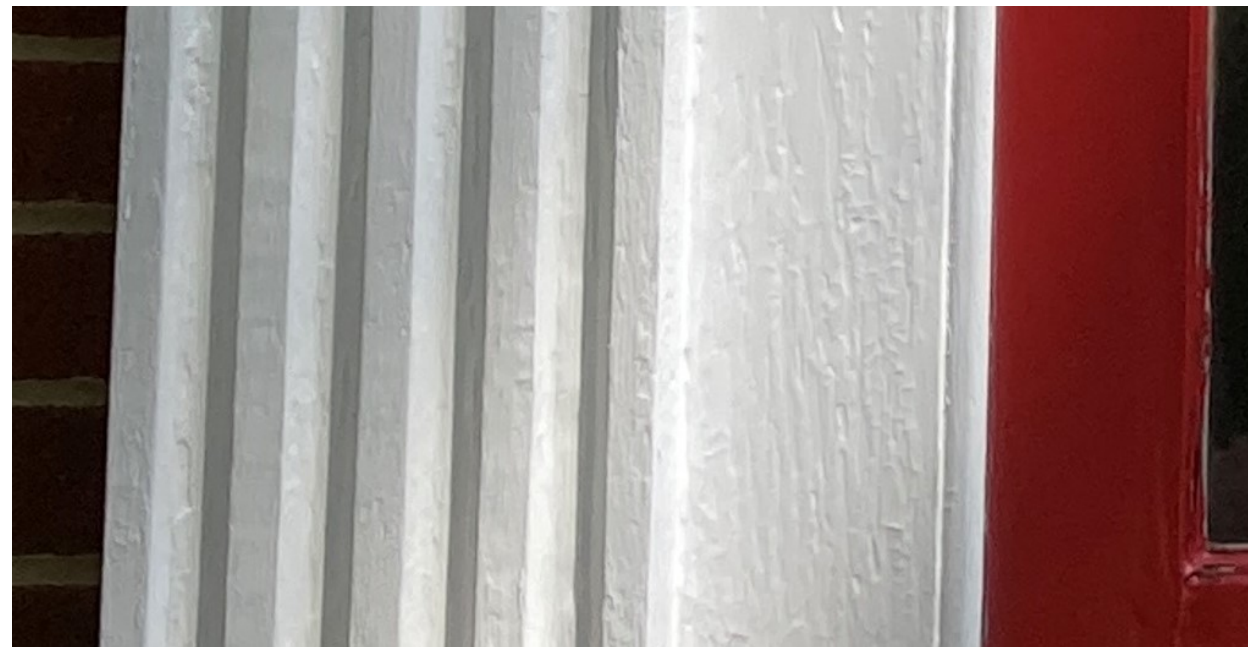
7 Gildersleeve Wood. Documentation of existing entry door trim and pediment. August 22024



7 Gildersleeve Wood. Documentation of existing entry door trim and pediment. August 22024



7 Gildersleeve Wood. Documentation of existing entry door trim and pediment. August 22024



**City of Charlottesville
Board of Architectural Review
Staff Report
August 20, 2024**



Certificate of Appropriateness Application

BAR # 24-08-03

316 East Main Street, Tax Map Parcel 280042000

Downtown ADC District

Owner: Biggs Hardware Store LLC

Applicant: "Hock" Hockensmith, Howard Hanna/Roy Wheeler Realty

Project: Water Street elevation: Remove commercial entry door, install garage door



Background

Year Built: 1909

District: Downtown ADC District.

Status: Contributing

Historical survey is attached.

Prior BAR Reviews

March 20, 2007 - BAR approved (5-3) CoA for all the changes proposed on the mall side elevation, with the stipulation of single stem light fixtures.

May 15, 2007 - BAR approved (8-0) CoA for changes to Water Street elevation. Suggestions: zippy grid is acceptable but storefront design should be symmetrical; do not bring interior wall to the storefront; do not alter the masonry openings; re-open the existing arch – likely connected to a 3 ft. doorway; explore automatic door opener on 3 ft. door or open doorway with vestibule inside; do not add glass panels to loading doors without BAR review

[BAR 316 E Main - May 2007](#)

October 21, 2008 – BAR approved (6-0) CoA for alterations to the East Main storefront.

[BAR 316 E Main - Oct 2008](#)

Application

- Applicant's submittal: Photos of elevation and images of door styles. (See below and appendix.)

Request CoA to remove the commercial entry doors (installed in 2008) at the Water Street elevation and install a roll-up garage door to accommodate vehicle entry.* The style of the new door has not been selected.

Note: The applicant is requesting BAR guidance on what would be appropriate.

- Standard, commercial door, similar to one in 2007 photo.
- Glazed, commercial door, similar to existing entry doors.
- Architecturally appropriate door for early 20th century warehouse.

Standard commercial door



Glazed commercial door



Architectural door



* The BAR is reviewing only a request to replace the existing entrance doors. The applicant will have to resolve with other City departments any issues related to how the space may be used and/or any requirements necessary to allow vehicular access from the street.

Discussion and Recommendation

Standard commercial door

This option has been approved at other locations within ADC Districts. It is inexpensive, non-descript and functional; however, it would eliminate what is currently a transparent opening.

Glazed commercial door (full or partial)

This option would maintain the transparency of the current entry doors, while providing functional garage-bay access.

Architectural door

Staff found no records or photos indicating the door originally in this opening and there are few extant examples Downtown of historic commercial/warehouse doors. Any design selected would be speculative. This option is restorative and fitting for a [historically and proposed] vehicular entrance; however, it would eliminate what is currently a transparent opening. If considered, staff recommends this option be limited to a stock, available door style; not a custom-built door.

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to approve a CoA for the installation of a garage door at the Water Street elevation of 316 East Main under the following conditions, which will satisfy the BAR's criteria: [describe type of door and any necessary conditions].

Note: As a condition of approval, the BAR should require that prior to installation, staff will review and approve the door selected, with the cut-sheet or photo memorialized in the BAR archive.

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to deny a CoA for the installation of a garage door at the Water Street elevation of 316 East Main due to the following: [...]

Criteria, Standards, and Guidelines

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

The Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
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7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 4 Rehabilitation](#)

Pertinent ADC District Design Guidelines

Chapter 4: Rehabilitation

D. Entrances, Porches, and Doors

[...]

- 3) Repair damaged elements, matching the detail of the existing original fabric.

[...]

- 5) Do not strip entrances and porches of historic material and details.

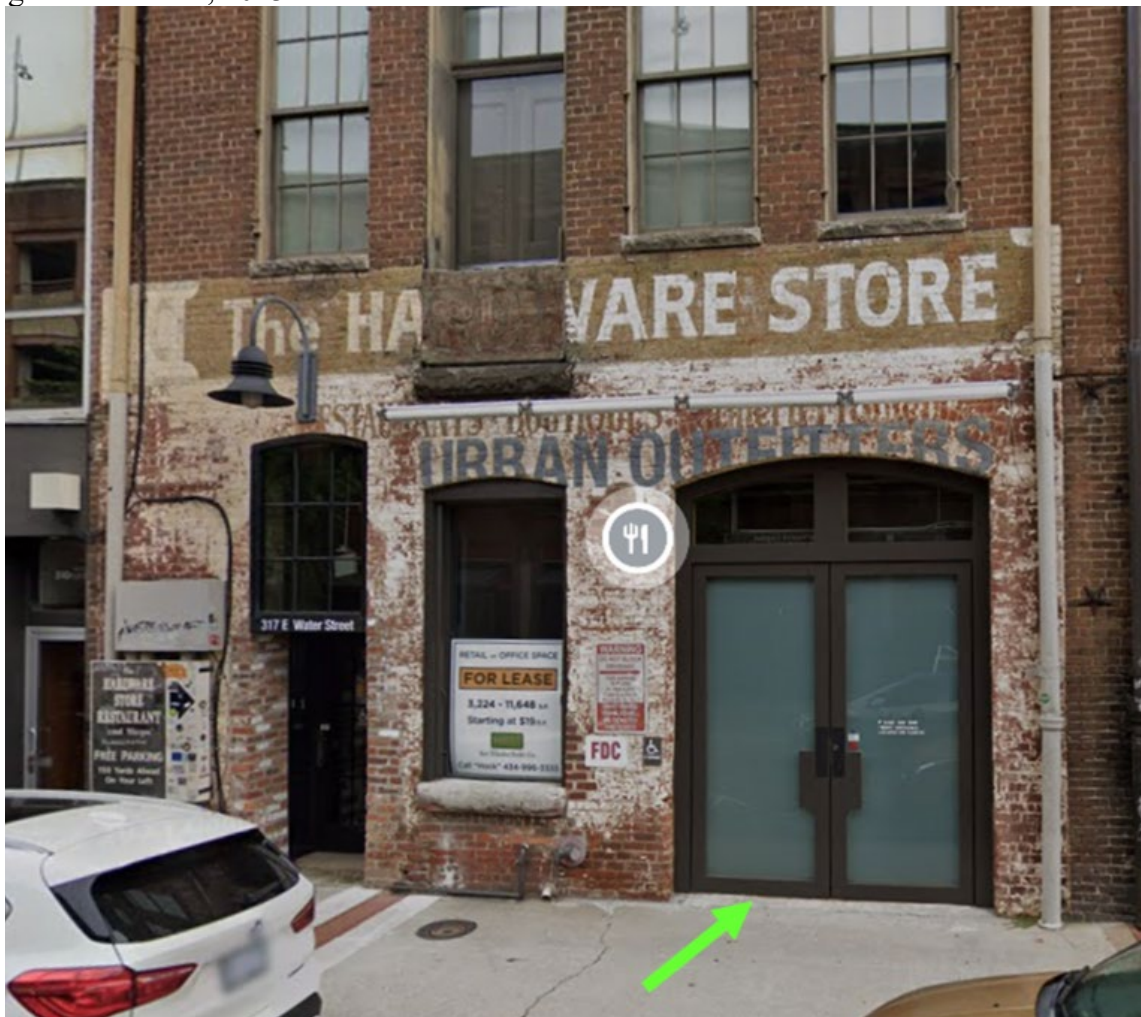
[...]

- 7) Do not remove or radically change entrances and porches important in defining the building's overall historic character.
- 8) Avoid adding decorative elements incompatible with the existing structure.
- 9) In general, avoid adding a new entrance to the primary facade, or facades visible from the street.

- 10) Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.
- 11) Provide needed barrier-free access in ways that least alter the features of the building.
[...]
- 14) The original size and shape of door openings should be maintained.
- 15) Original door openings should not be filled in.
[...]
- 17) Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.
- 18) Retain transom windows and sidelights.
[...]

Appendix:

Google Street View, 2023



2007



Historic doors - Downtown



Rear of Jefferson Theatre



108 South Street (undated)

Architectural And Historic Survey



Identification

STREET ADDRESS: 316 E. Main Street

MAP & PARCEL: 28-42

CENSUS TRACT AND BLOCK: 1-124

PRESENT ZONING: B-4

ORIGINAL OWNER: Charles H. Walker

ORIGINAL USE: Retail and Wholesale Hardware Store

PRESENT USE: Restaurant and Retail Shops

PRESENT OWNER: Rockford Corporation

ADDRESS: 316 E. Main Street

Charlottesville, Virginia

The Walker Building

HISTORIC NAME: (Charlottesville Hardware Company, Inc.)

DATE / PERIOD: 1909

STYLE: Victorian

HEIGHT (to cornice) OR STORIES: 3 storeys

DIMENSIONS AND LAND AREA: 27.5' x 232.3' (6719 sq. ft.)

CONDITION: Good

SURVEYOR: Bibb

DATE OF SURVEY: Spring 1978

SOURCES: City Records Stanley Epstein
Miss Constance Leachman Mrs. Jules I. Levin
Sanborn Map Co. - 1907 & 1920

ARCHITECTURAL DESCRIPTION

Tall and narrow, the Walker Building extends from Main to Water Street. Construction is of tan pressed brick laid in stretcher bond on the facade, and regular brick in six-course American bond on the other three sides. A wooden awning in a bellcast hip shape and covered with standing-seam metal shelters the first storey of the three-bay facade. The walls around the typical display windows are faced with copper, weathered to a dull brown. The 3-light rectangular transom and lights above the sidelights have been boarded up. There is an entablature above the awning with architrave with egg-and-dart moulding, plain frieze, and dentiled cornice. Each of the three bays is recessed at the second and third storey levels, with two-storey brick Tuscan pilasters with stone bases and capitals between them. The large windows are double-sash, 6-over-6 light, with stone sills and no surrounds. The second-storey windows have stone jack arches with keystones and end blocks. The third-storey windows have round arches with keystones and end blocks above single-light, half-round transoms. Egg-and-dart moulding runs around the corbeled top of the recession and outlines the recessed spandrels and a recessed stone panel in the center of the parapet with the words "Walker Building" in raised letters. The four brick pilasters on the parapet are capped with stone finials with the dates in "1895" and "1909" carved on the corner ones. The rear of the building is four narrow bays wide. The segmental-arched 6-over-6 light, double-sash windows with rough stone sills are progressively shorter on the upper levels. There is a simple wooden cornice with dentil moulding at the top of the parapet. When the building was occupied by the Charlottesville Hardware Company, a china shop was located in the front half of the basement reached by a two-flight open stair. Access to the second and third storeys, which were used for storage, is by freight elevator or by two-flight dog-leg stair with winders. Rolling ladders on overhead tracks gave access to the shelves which lined the 20-foot walls of the main level. A unique wire cashier's cage was removed circa 1970. There is a mezzanine at the rear. The main level has now been divided into a series of small shops and a restaurant. A balcony with winding stair and simple balustrade now runs along the front and west side. Some of the shelves and two ladders remain along the east side.

HISTORICAL DESCRIPTION

The Walker-Carroll-Adams Hardware Company was founded in 1889 and incorporated as the Charlottesville Hardware Company just after the turn of the century. Charles H. Walker bought this lot in 1893 (DB 3-455) and in 1895 built a 4½ storey Victorian Romanesque building with rock-faced coursed ashlar facade and a steep tiled roof with stepped gables and a heavy stone cupola. There were three round-arched bays at the second and third levels, an arcaded fourth level, and a two-bay dormer. A fire which began in this building on February 5, 1909, completely destroyed it and most of the other buildings on the block. Walker rebuilt immediately. After his death (1917), the title was transferred to the Charlottesville Hardware Company, Inc., in 1920 (DB 36-162). It was the largest wholesale and retail hardware dealer in the area for nearly a century. After it moved to a larger building north of town in 1975, the Rockford Corporation purchased the building and converted the main level into a restaurant and several small shops (DB 370-322). Additional References: City DB 5-441, 21-221, 28-82.

LANDMARK



SURVEY

IDENTIFICATION

Street Address: 316-318 E. Main Street
Map and Parcel: 28-42
Census Tract & Block: 1-124
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Address: 316 E. Main Street
Present Use: Restaurant and Retail Shops
Original Owner: Charles H. Walker
Original Use: Retail and Wholesale Hardware Store

BASE DATA

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Height in Stories: 3
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GRAPHICS

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CONDITIONS

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SOURCES

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Stanley Epstein
Mrs. Jules I. Levin
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Sanborn Map Co., 1907 & 1920



fine arts calendar

September, 1978

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Progress photo by Peter Bacque

INTERIOR VIEW OF CHARLOTTESVILLE HARDWARE
Slated For Renovation Into Restaurant

Hardware Building To Become A Restaurant

By PETER BACQUE
of The Progress Staff

Charlottesville's Downtown will apparently have its nighttime restaurant—a development widely considered to be essential to the revitalization of the central city.

The Charlottesville Hardware Co. Inc. building at 316 E. Main St. will be sold to Rockford Corp. of Charlottesville, which announced Monday its intention to buy and renovate the 90-year-old structure for restaurant and general merchandising operations.

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Dr. Jules I. Levine, vice president and treasurer of Rockford Corp., said that his firm will put two restaurants—a "very fine,

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The restaurants, Levine said, will be open by the Christmas shopping season. The hours of the restaurants have not been set yet, he said, but "we don't plan to close at 5 p.m."

The Downtown currently has no full-service restaurant open regularly at nights.

Financing for the hardware store's purchase was arranged through Virginia National Bank, Levine said. The bank in the spring set up a \$5 million loan fund to back Downtown development projects.

Levine and Stanley Epstein of Caracas,

See STORE, Page A10

Almost a Century Downtown

5/78

Old Hardware Store Gone Forever

By RAY McGRATH
of The Progress Staff

A near 100-year tenure of
Charlottesville Hardware Co.,
one of the oldest conti-
nuing operating businesses in
the area, has quietly come to a

family-owned corpora-
tion which last fall sought to
reorganize under federal bank-
ruptcy statutes, last month was
declared bankrupt and now
is in the liquidation of its in-
ventory, according to Annie Lee
Congdon, the court-appointed
trustee in the case.

The firm petitioned the feder-
al court in October to allow it to
reorganize under Chapter 11 of

the Federal Bankruptcy Act in
a last desperate move to
remain solvent after its assets
had fallen more than \$160,000
behind its financial obligations.

In a statement released at the
time Derick O. Dahlen, vice
president and general manager
of the 98-year-old hardware and
supply firm, said, "Our difficul-
ties are temporary."

He was right, but for the
wrong reasons. Representa-
tives of the firm, which appar-
ently had operated quite
successfully prior to its move
two years ago from its authenti-
cally old-fashioned quarters on
East Main Street, last month
told a federal bankruptcy judge

in Charlottesville they could not
comply with the reorganization
plan, Ms. Congdon said. As
trustee in the case, she is
charged with the responsibility
of formulating a liquidation
plan, she said.

The firm's demise has pro-
duced speculation over why it
folded. As some would have it,
not excluding those aesthetic-
ists who mourned the loss of the
antique interior of the down-
town store with its compart-
mented walls stuffed with even
decades-old hardware, the com-
pany lost its clientele.

The company consolidated its
downtown wholesale plumbing

supply business with its retail
operations in its move to Rio
Road. Some say the move was
too expensive.

Some lawyers, who have been
involved in the case, suggest
that a number of circumstances
probably combined to bring
about the fall of the company.

George R. Thompson, a
stockholder in the company,
thinks he knows the reason.

"It was just one of those
things that nobody took time to
tend," he said in a telephone in-
terview from his home in Fau-
quier County.

Thompson said he is one of a
number of stockholders, most
of whom are descendants of
founder Charles Walker. Many
of the stockholders, particu-
larly those with controlling shares,
live away from Charlottesville,
he said.

With interest in the company
as a family operation waning,
the stockholders relied on pro-
fessional managers to run the
store and a few of those were
bad, he said.

His own interest in the com-
pany has been from an invest-
ment standpoint, he said. But,
he added, "You can't run a
business unless you're there to
run it yourself."

Thompson also said the deci-
sion to move, a costly one, also
hurt the company which had
done well previously. But he
said the move was warranted
by the construction of the down-
town mall on Main Street. The
mall reduced access to the
store by restricting traffic from
the street, he said.

On that point city officials
disagree. They have said sales
and new investments downtown
indicate a healthier financial
condition since the malls con-
struction.

The turn-of-the-century build-
ing, which retains a semblance
of the business's former interi-
or and is titled The Hardware
Store, was converted to a res-
taurant and boutique. The new
business, said to be a major and
chancey investment, has also

been credited with encouraging
a more positive attitude toward
downtown's business potential.

Meanwhile, Thompson won-
ders about his company's fail-
ure. "If they hadn't have had to
move from downtown. I don't
think it would have happened,"
he said.

Hardware Store Has Nostalgic Charm

By DOUGLAS PARDUE
of The Progress Staff

If any shop is a landmark in downtown Charlottesville, it is Charlottesville Hardware Store. The three story building has been around since 1895 and has remained unchanged for most of the time since then.

However, the rustic shop, where a person can still buy one nail at a time and be waited on by an attendant who often will have to climb one of the store's eight, 16 foot high rolling ladders, to retrieve the item the person wants from a cubby hole along the narrow store's 20 foot high ceilings, will soon join its bygone brethren.

The shop is scheduled to close this summer as the hardware company, the largest in central Virginia, will be moving to a modern building currently under construction north of Charlottesville.

Puffing on his pipe, Charles C. Sensabaugh, general manager of the hardware firm, leaned back in his swivel arm chair at his wood paneled office tucked in the back of the store and reminisced during a recent interview.

Sensabaugh, who has headed the company, located at 316 E. Main St., since 1970, says he will miss the old maple floored building.

With a touch of sadness in his voice he joked, as he showed a reporter around the building, that he has thought about "making a museum out of it and charging one dollar for people to come in, browse around and smell it."

"Hardware stores have a distinctive smell, you know," he said, as he breathed in deeply. "I guess it's all that metal and leather and wood...and here the smell is even greater."

"I guess that smell brings back memories for many people," Sensabaugh said as he noted that "many people come in just to look around." He said that just recently a man came in the front door with two children and just stood there. He said he asked the man if he wanted some help and the man said no "I just wanted to show them what an old fashioned hardware store is like."

Looking up at the 20 foot high ceilings, Sensabaugh pointed to one of the massive supporting beams and said, "they just don't make buildings like this any more."

True enough, they don't make buildings like that any more. And the main reason Charlottesville Hardware is moving is because of the building.

As nice as the old time atmosphere is for the emotions, the building is simply not very economical.

The old building has just too little floor space for displaying merchandise. Only the main floor and part of the basement are used to display the store's wares. And even

then much of the hardware on the main floor is stacked on the store's 20 foot high walls, accessible only to the store's clerks who have to climb ladders to reach the items for customers.

The old building stocks more than 400,000 pounds of hardware, with some 50,000 individual types, ranging from nuts and bolts to housewares.

Most of the items, however, are stored on the shop's upper two floors, out of view of most of the store's customers.

Even though the store has a reputation for having anything anyone wants, Sensabaugh said as he walked along the worn heavy wooden planks on the floors upper two stories, "most people who come in here have no idea of all the stuff we have...They think these upper floors are filled with old junk that is obsolete."

Plans for moving to the new \$1 million building, located on Rio Road just west of the intersection with U.S. 29, have been in the works for three years, Sensabaugh said. He added that the relocation had nothing to do with construction of the controversial Downtown Mall currently being built along E. Main St.

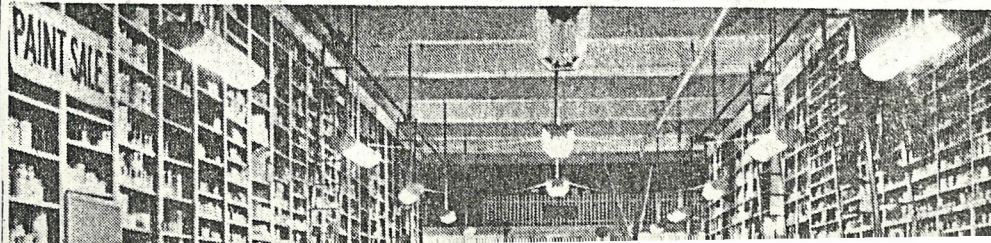
The new store will combine under one roof the hardware business and the store's plumbing supply business, Charlottesville Supply Co., which is currently located at 21 South St.

Sensabaugh said that at the new store, which is to be completed by May and moved into by the end of the summer, he hopes to be able to retain the old time flavor of the present store.

Much of the store's nostalgic flavor is a result of the fact the hardware company is a bulk dealer and consequently doesn't carry a lot of the pre-packaged retail type hardware. Sensabaugh said approximately 80 per cent of the store's business is wholesale with contractors. The individual private customer benefits from the store's wholesale business because he can walk in and by just what he needs without having to pay for packaging.

At the new store Sensabaugh says that although he will expand the company's self service type business, he will retain the bulk way of selling. "Hopefully we'll have the best of both," he said. He added that he is thinking about keeping the old store's hand-cranked turn-of-the-century cash register and rolling ladders to put in the new store to add a little of the old building's charm. But he admits wistfully, "it won't be the same."

It has not been decided what will be done with the old building, but there have been several persons in to look at it, Sensabaugh said. One of the lookers had mentioned the possibility of putting in a restaurant, but most likely the building will be used to house several shops or offices, he said.





Progress Photo by Jim Carpenter

NARROW FLOORS AND HIGH WALLS CHARACTERIZE STORE



fine arts calendar

September, 1978

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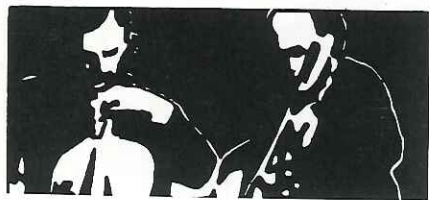
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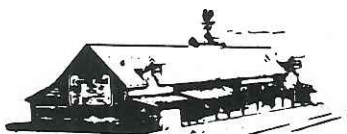
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Name, address and title of recorder
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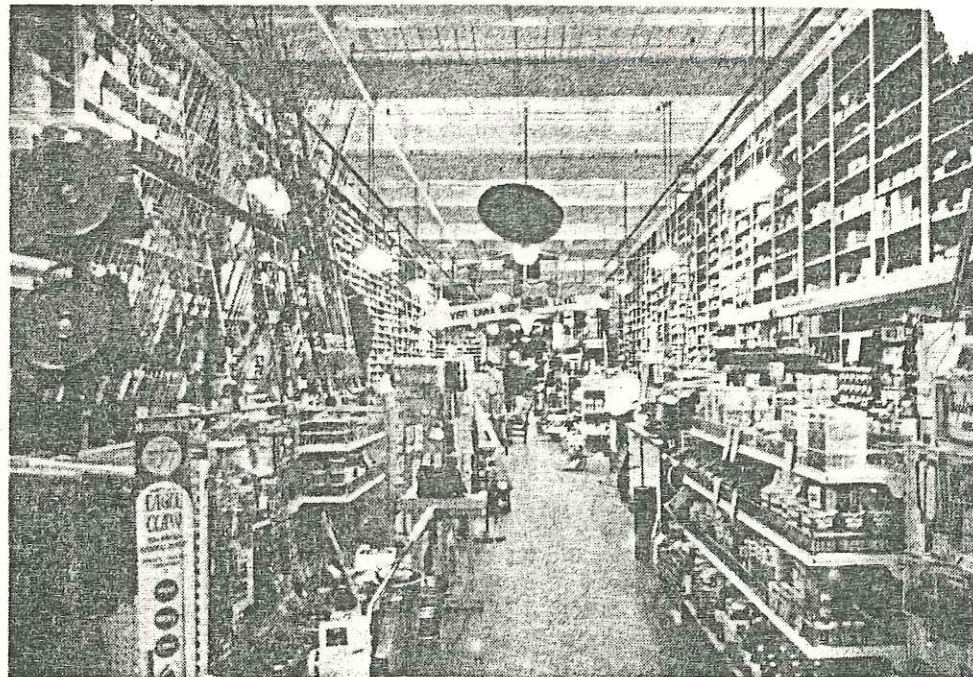
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Date



Progress photo by Peter Bacque

INTERIOR VIEW OF CHARLOTTESVILLE HARDWARE
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By PETER BACQUE
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See STORE, Page A10

cant topographical features.)

c.)

ocation.)

1886 CONFEE.
1891 SAME
1907 HARDWARE
1920 SAME

SHARPEN MAPS:

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The old building has just too little floor space for displaying merchandise. Only the main floor and part of the basement are used to display the store's wares. And even

then much of the hardware on the main floor is stacked on the store's 20 foot high walls, accessible only to the store's clerks who have to climb ladders to reach the items for customers.

The old building stocks more than 400,000 pounds of hardware, with some 50,000 individual types, ranging from nuts and bolts to housewares.

Most of the items, however, are stored on the shop's upper two floors, out of view of most of the store's customers.

Even though the store has a reputation for having anything anyone wants, Sensabaugh said as he walked along the worn heavy wooden planks on the floors upper two stories, "most people who come in here have no idea of all the stuff we have...They think these upper floors are filled with old junk that is obsolete."

Plans for moving to the new \$1 million building, located on Rio Road just west of the intersection with U.S. 29, have been in the works for three years, Sensabaugh said. He added that the relocation had nothing to do with construction of the controversial Downtown Mall currently being built along E. Main St.

The new store will combine under one roof the hardware business and the store's plumbing supply business, Charlottesville Supply Co., which is currently located at 21 South St.

Sensabaugh said that at the new store, which is to be completed by May and moved into by the end of the summer, he hopes to be able to retain the old time flavor of the present store.

Much of the store's nostalgic flavor is a result of the fact the hardware company is a bulk dealer and consequently doesn't carry a lot of the pre-packaged retail type hardware. Sensabaugh said approximately 80 per cent of the store's business is wholesale with contractors. The individual private customer benefits from the store's wholesale business because he can walk in and by just what he needs without having to pay for packaging.

At the new store Sensabaugh says that although he will expand the company's self service type business, he will retain the bulk way of selling. "Hopefully we'll have the best of both," he said. He added that he is thinking about keeping the old store's hand-cranked turn-of-the-century cash register and rolling ladders to put in the new store to add a little of the old building's charm. But he admits wistfully, "it won't be the same."

It has not been decided what will be done with the old building, but there have been several persons in to look at it, Sensabaugh said. One of the lookers had mentioned the possibility of putting in a restaurant, but most likely the building will be used to house several shops or offices, he said.

INBORN MAPS:

886 CONFEE.
891 SAME
907 HARDWARE
920 SAME

al features.)

Name, address and title of recorder

MARGARET DAVIS

UYA FEB. '80

Date

Feb 1980

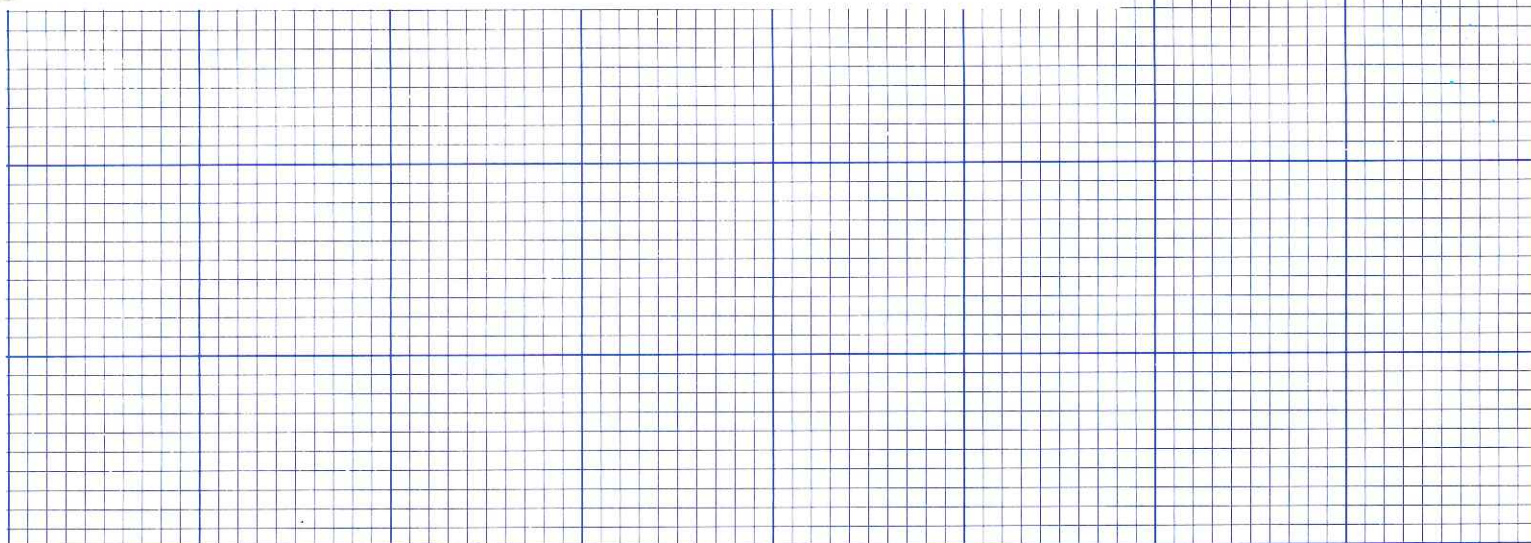
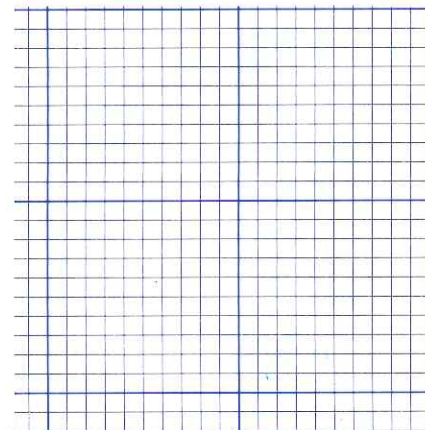


Progress photo by Peter Baque

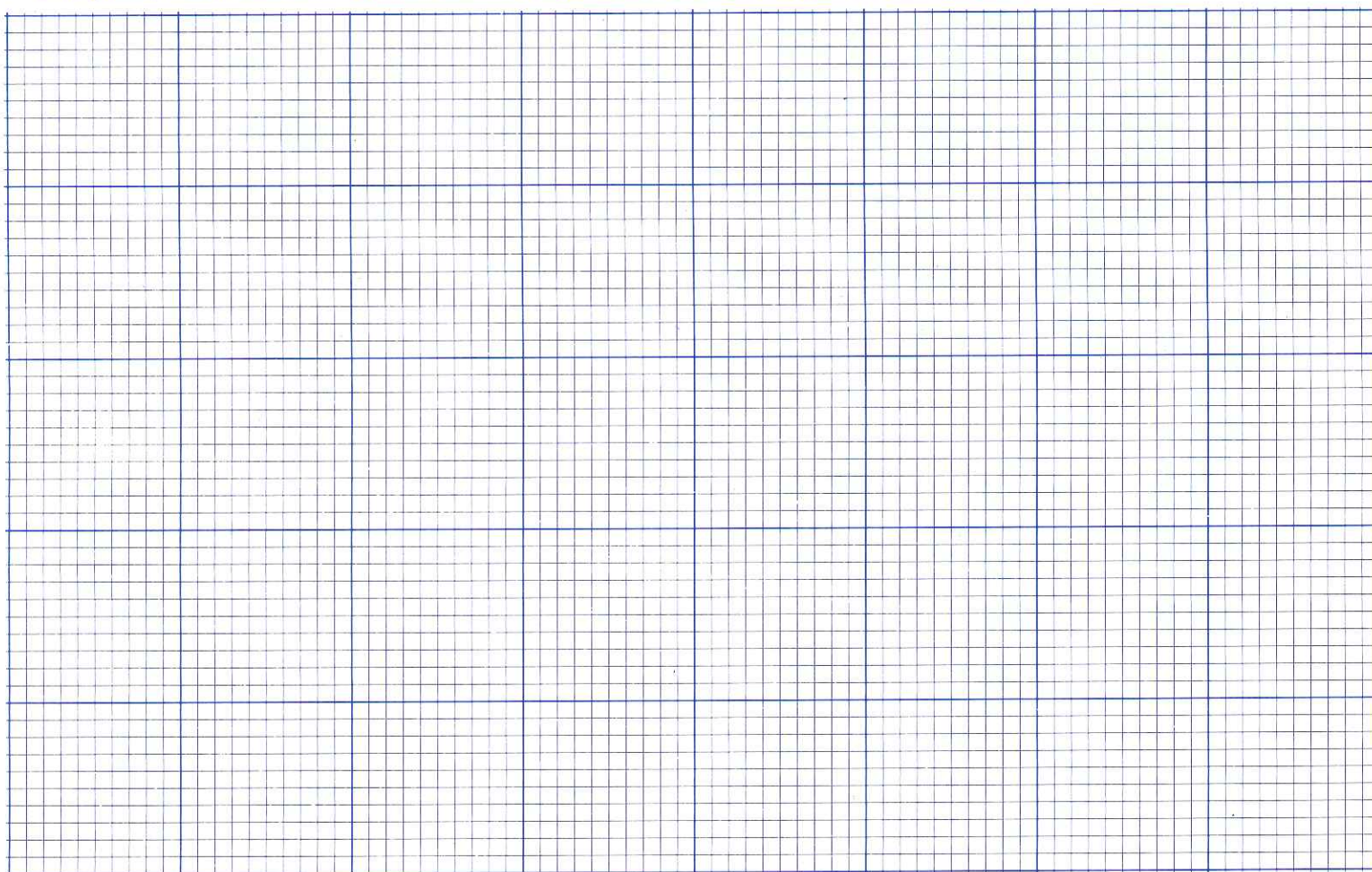
INTERIOR VIEW OF CHARLOTTESVILLE HARDWARE
Slated For Renovation Into Restaurant

ORN MAPS:

36 CONFEE.
71 SAME
57 HARDWARE
20 SAME



Site plan (Locate and identify outbuildings, dependencies and significant topographical features.)



Name, address and title of recorder
MARGARET DAVIS

WVA FEB. '80

Date
Feb 1980

Old Hardware Store Gone Forever

by RAY McGRATH

The Progress Staff

Near 100-year tenure of Charlottesville Hardware Co., one of the oldest continuously operating businesses in the area, has quietly come to a

family-owned corporation which last fall sought to reorganize under federal bankruptcy statutes, last month was declared bankrupt and now the liquidation of its inventory, according to Annie Lee Thompson, the court-appointed liquidator in the case.

The firm petitioned the federal court in October to allow it to reorganize under Chapter 11 of

the Federal Bankruptcy Act in a last desperate move to remain solvent after its assets had fallen more than \$160,000 behind its financial obligations.

In a statement released at the time Derick O. Dahlen, vice president and general manager of the 98-year-old hardware and supply firm, said, "Our difficulties are temporary."

He was right, but for the wrong reasons. Representatives of the firm, which apparently had operated quite successfully prior to its move two years ago from its authentically old-fashioned quarters on East Main Street, last month told a federal bankruptcy judge

in Charlottesville they could not comply with the reorganization plan, Ms. Congdon said. As trustee in the case, she is charged with the responsibility of formulating a liquidation plan, she said.

The firm's demise has produced speculation over why it folded. As some would have it, not excluding those aestheticians who mourned the loss of the antique interior of the downtown store with its compartmented walls stuffed with even decades-old hardware, the company lost its clientele.

The company consolidated its downtown wholesale plumbing

supply business with its retail operations in its move to Rio Road. Some say the move was too expensive.

Some lawyers, who have been involved in the case, suggest that a number of circumstances probably combined to bring about the fall of the company.

George R. Thompson, a stockholder in the company, thinks he knows the reason.

"It was just one of those things that nobody took time to tend," he said in a telephone interview from his home in Fauquier County.

Thompson said he is one of a number of stockholders, most of whom are descendants of founder Charles Walker. Many of the stockholders, particularly those with controlling shares, live away from Charlottesville, he said.

With interest in the company as a family operation waning, the stockholders relied on professional managers to run the store and a few of those were bad, he said.

His own interest in the company has been from an investment standpoint, he said. But, he added, "You can't run a business unless you're there to run it yourself."

Thompson also said the decision to move, a costly one, also hurt the company which had done well previously. But he said the move was warranted by the construction of the downtown mall on Main Street. The mall reduced access to the store by restricting traffic from the street, he said.

On that point city officials disagree. They have said sales and new investments downtown indicate a healthier financial condition since the malls construction.

The turn-of-the-century building, which retains a semblance of the business's former interior and is titled The Hardware Store, was converted to a restaurant and boutique. The new business, said to be a major and chancey investment, has also

been credited with encouraging a more positive attitude toward downtown's business potential.

Meanwhile, Thompson wonders about his company's failure. "If they hadn't have had to move from downtown. I don't think it would have happened," he said.



The HARDWARE STORE[®]

RESTAURANT
BOUTIQUES & GALLERY PROMENADE

434-977-1518
800-426-6001
FAX 434-979-7555

September 29, 2005

Mr. Ryan Mickles, Zoning Inspector
City of Charlottesville
Dept. of Neighborhood Development Services
City Hall, Charlottesville, Virginia

Dear Mr. Mickles:

In response to your letter delivered to us yesterday, the following is the information that you requested:

1. We display "UVa" Orange & Blue pennants which are in support of the University's Football Team.
2. We are currently celebrating "Oktoberfest" and displaying the Blue & White checkered flags which are recognized Worldwide as the "Oktoberfest Symbol".
These will be removed at the end of the Fest which will be in approximately 2 weeks.
3. It should also be noted that these are only temporary decorations (e.g. Christmas lights) and are installed against our building and property and do not in any way infringe on public property.

I trust that this answers your request. Please feel free to contact me should you require additional information.



Stan Epstein
Hardware Store Restaurant

In the Grand Old Hardware Store Building • 316 E. Main Street
on the Mall in Historic Downtown Charlottesville, Virginia 22902

September 28, 2005

Mr. Stan Epstein
The Old Hardware Store
313 East Water Street
Charlottesville VA 22902

Dear Mr. Epstein:

As you are already aware, I have received a complaint about the visual displays on The Old Hardware Store. As City Zoning Inspector, I am trying to determine whether this is a violation of the City Zoning Ordinance or a matter that needs to be taken up with the City's Board of Architectural Review (BAR). To help expedite this inquiring, I am requesting that you submit to me any information (i.e. colors used, dates for displays) regarding these visual displays by October 1, 2005.

Thank you for working with us in our effort to make Charlottesville a World Class City.

Ryan Mickles
Zoning Inspector

Sources and bibliography
Published sources (Books, articles, etc., with bibliographic data.)

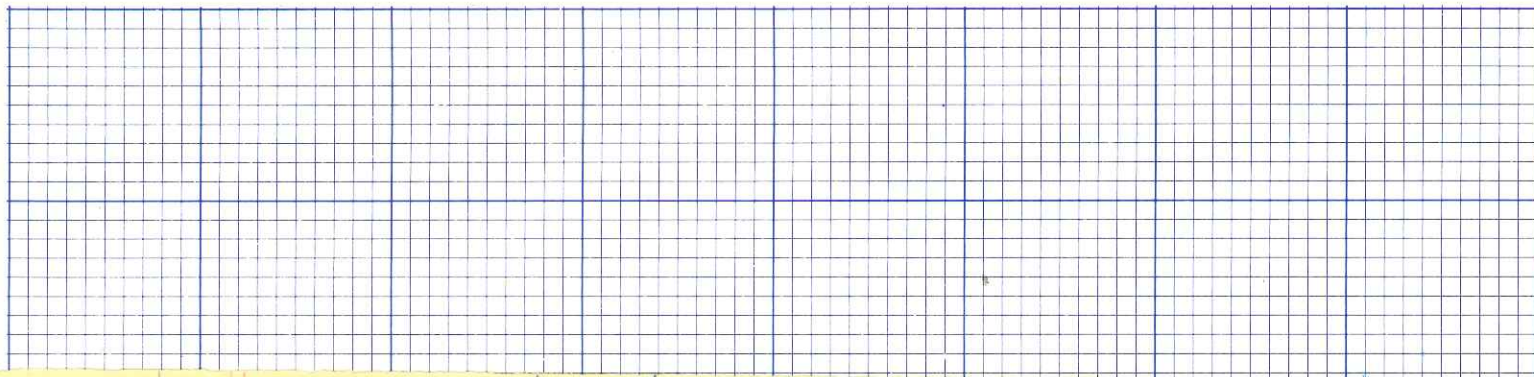
SANBORN MAPS:

Primary sources (Manuscript documentary or graphic materials; give location.)

1886 CONFEE.
1891 SAME
1907 HARDWARE
1920 SAME

Names and addresses of persons interviewed

Plan (Indicate locations of rooms, doorways, windows, alterations, etc.)



The bldg remained virtually unchanged until
^{c 1940} the early 1970s when some modernization was undertaken,
including sanding the diagonally-laid maple floors &
removing a unique wire cashier's cage.

Name, address and title of recorder

MARGARET DAVIS

UVA FEB. '80

Date

Feb 1980

City Tax Records

Ch'ille Hdw

370-322 Rockford Corp 1975 \$135,000 plat 370-325

36-162

3-454 Ch' & Hdw

concrete found; brick walls; built-up tar & gravel flat roof
hardwood & pine floors

1908

33' Main St, 22.5' Water St, 6,719 sq ft.

or 27.5' x 165', 29.5' x 65'

*

1975 - \$70,000 - renovation

163
165
237
132 1/2

Miss Leachman's mother, Mrs C H Walker, & J. Payne Carroll
must have been brother & sisters

Charles C. Semabaugh, President ^{for years & gen manager since 1970} when bldg sold
Rockford Corp (Dr. Jules I. Levine & Stanley Epstein)

✓ When Ch's Hdwr estab? When ~~that~~ that location?

Did whole bldg burn 1909? Was it re-built completely, or
within old walls? year of fire? (see 1907 Sanborn)

pictures

who would know or have pictures?

Epstein:

ask Mrs Levine next week ^{bro-in-law}

built c 1890-95 as hdwr store, Walker (see pediment)

his dau (80s) came last year

partially burned - Timberlake's has photo of fire?
wants old Ch's Hdwr memorabilia, papers (ads, bills of sale)

" display history
museum of Am Hdwr

Semabaugh cooperated; successors didn't

built 1895 by ^{CH} ~~Ed~~ Walker for ^{Warrenton} ~~Walling~~ ^{den de van} as hdwr store
manager was J. Payne Carroll, bro-in-law ^(her uncle too)

Walker's niece at M.J. House - Miss Constance Leachman
lived w/ Walker's on 2nd or 3rd St, near Rotunda &
store burned same year, laid 2nd cornerstone

1905 (1909 fire - rebuilt)
1908 Leachman) it brick wall orig, front & insides fell
floors in window & main floor date for ^{rebuilding} ~~rebuilding~~
Carroll's dau in Greenwood

dates on cornice

pictures - in Holsinger collection

~~pictures~~

built almost from scratch, she c. 13 ¹⁹⁷⁸
lived in boarding house on Market St ^{- 84, 85 in Apr}
¹⁸⁹⁴
¹³
1907

Ch's Bicentennial book says ~~est~~ founded 18

Charles H. Walker, founder of The Charlottesville Hardware Company, bought this lot in 1893 (City DB 3-455) and in 1895 built a 4¹/₂-storey brick building on the Main Street half of the lot. A major fire on 1909 almost completely destroyed it as well as most of the other buildings on that block. Walker rebuilt immediately, the new building covering the entire lot from Main to Water Street and being 3 stories, though only 8 ft. shorter than the previous one. After Walker's death (1917), title was transferred to The Charlottesville Hardware Co., Inc., in 1920 (DB 36-162). It was the largest wholesale and retail hardware dealer in the area for three-quarters of a century. After it moved to a larger building north of town in 1975, the Rockford Corporation purchased the building and converted it into a restaurant and several small shops. (DB 370-322). Additional Deed References: City DB 5-441, 21-221, 28-82.

~~Three tall stories plus basement, the Walker Building extends from Main St. Water Street.~~

Tall and narrow, the Walker Building extends from Main to Water Street. ~~It is three tall stories plus basement and has a 3-bay facade on Main St.~~ Construction is of tan pressed brick laid in stretcher bond on the facade, and regular brick in 6-course American bond on the other three sides. It has a built-up tar-&-gravel flat roof.

There is a simple horizontal entablature above the first-storey level with architrave with egg-&-dart moulding, plain frieze, and dentiled cornice. Each of the three bays is recessed at the 2nd and 3rd-storey levels, and there are 2-storey brick Tuscan pilasters with stone bases and capitals between them. The large windows are double-sash, 6-over-6 light, with stone sills and no surrounds. The 2nd-storey windows have stone jack arches with keystones and end blocks. The 3rd-storey windows have round arches with keystones and end blocks above single-light half-round transoms. Egg-&-dart moulding outlines recessed spandrels under all windows, and runs along the corbelled top of the recessions, and outlines a recessed stone panel in the taller center bay of the parapet with the words "Walker Building" in raised letters. The four brick pilasters on the parapet are topped with Gothic-arched stone finials, the dates "1895" and "1909" carved on the corner ones. The rear of the building is four narrow bays wide with three windows and a door on each level except the basement, where a warehouse door fills two bays. The segmental-arched, double-sash windows with rough stone sills progress from tall 6-over-6 light with 3-light transoms at the 1st-storey level, to tall 6-over-6 without transoms at the 2nd-storey, to shorter 6-over-6 on the 3rd storey. There is a simple wooden cornice with dentil moulding at the top of the parapet. When the building was occupied by The Charlottesville Hardware Co., a china shop was located in the front half of the basement, reached by a double-flight open staircase with turned newels and simple balustrade. Access to the two upper stories, which were used for storage, is by freight elevator or by 2-flight dog-leg staircase with winders. The main level has diagonally-laid maple flooring. Eight rolling ladders on an overhead track gave access to shelves which lined the 20-ft.-high walls. A unique wire cashier's cage was replaced in the early 1970's. There is a balconied mezzanine at the rear. The main level has now been divided into a series of small shops and a restaurant. A balcony with simple balustrade runs along the front, west side, and rear. Some of the shelves and two ladders remain along the east side.

The walls around the typical plate-glass display windows on the first level are faced with copper, weathered to a dull brown. The recessed central entrance consists of single-light double doors with single-light flush sidelights. The 3-light rectangular transom and lights above the sidelights have been boarded up. An awning in the shape of a bellcast hip roof covered with standing-seam tin shelters the first storey of the facade.

The typical plate-glass display windows on the first level are framed with copper

facing

30 1/2

18 21

27 1/2

27 1/2

39

30 1/2

41 1/2

Ch'v Hdw

~~00000~~

36-162

7/1/1920

DB 3-455

1893 Moses & Philip Leterman & wives → Chas H. Walker

22.5' on main, 222.75' back to water, 22.5 on water

Letermans to have right to build to eastern wall

5-441

1895 B. Oberdorfer & wife → CH Walker

adj tract on west, 5' on main, 7' on water, change 100' back from

Oberdorfer to build to western wall

21-221

1910 re: eastern wall

28-82

1915 re: western " w/ J Dean Tilman; "Walker Bldg"

1917 CH Walker & Co (WB 2-64)

1/4 int in "property known as the 'Walker Bldg' & now occupied by the Ch'v Hdw Co" in trust for Candace Correll Leachman

3/4 int unaccounted for, lumped in w/ rest of estate

now: → Ch'v Hdw Co, Inc

\$60,000

370-322

12/18/1975

Ch'v Hdw Co, Inc (Chas P. Sensabaugh, Treas) →

Rockford Corp.

plat: bldg covers lot

\$135,000

2247

132.48

~~27~~ X 29.52

26496

66240

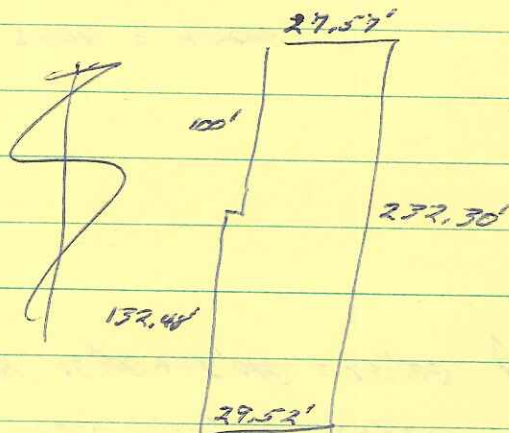
119232

26496

3910.8096

2757

6667.8



~~1899-1900~~
~~1911-1915~~

~~1894 1st Ch Walker~~

1894-95 3rd Chas H. Walker - part #33 1000 + 3000 = 4000 ^{HWP} for ~~Seton~~

1896, 97, 98, 99, 1900 " " " " 3000 + 7000 = 10,000 -

1901, 05, 06 " " " " #36 2000 + 8000 = 10,000

1910 " " " " 2000 + 20,000 = 22,000 bldg added

1911 1913, '15 " " " " 3000 + 15,000 = 18,000 "reduced by order of Court"

1916, '19, '20 " " " " 9000 + 13,000 = 22,000

1921, '23, '24 Ch's Hdw Co Inc part 52 316-318 10,000 + 15,000 = 25,000 for CH Walker et

~~189~~

1894-95 1000 + 3000 = 4000

1896-1900 3000 + 7000 = 10,000

1901-1909 2000 + 8000 = "

1910 " + 20,000 = 22,000 bldg added

1911-1915 3000 + 15,000 = 18,000 "reduced by order of Court"

1916-1920 9000 + 13,000 = 22,000

1921-1924 10,000 + 15,000 = 25,000

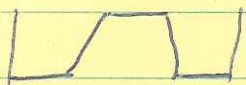
∴ 1895 & 1909 are correct



Ch's Hdw

3-storey, 3-bay

sooty greyish tan pressed brick, stretcher bond

- 1st level -  recessed entry, plate glass show windows
doors - double, 1-light, 1-light flush sidelight
copper around & under windows (1st level walls upper faced ^{around windows})
3-light rect bannock & panels above sidelights now boarded up
marble, like pilaster base, at sides
~~plain wooden~~
1 new plain wooden awning w/ lights bellcast hips tin
2 plain wooden space
3 arch w/ egg & dart
4 pl frieze
5 dentil moulding
6 cornice

2nd level - ^{2 storey} brick Tuscan pilasters ^{bet window recesses} stone base & capital
each bay recessed these 2 stories
windows 6/6 double sash
stone sills, 0 surrounds
2nd - stone jack arch w/ keystone & ends
3rd - " round " " " ^{rough} blocks
single paned semi-circle

egg & dart moulding outlines recessed panels
the egg bell the

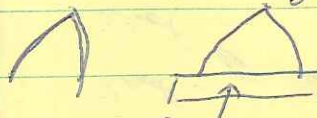
plain brick space for store name

parapet cornice above

4 ^{small} brick pilasters

lined up egg and
recess in central bay w/ "Walker Building" in raised

letters on stone
parapet higher in center bay

 in stone top each (4) pilasters
2-dimensional, around 4 sides — no, center high,
carved on corner ones "1895" + "1909" 7, 4 corners drop
corner ones larger
1 dim

(CH43 also dated 1909)

Name painted on side; front ^{name} looks newer
stepped back fr facade
reg brick sides

rear -

6-c am bond
all reg arched
4 bay

loading platform
tall 6/6 w/ 3 l transom
"shorter" no "
also a door each floor
~~stone~~ rough stone sills, 0 surrounds

cornice w/ wooden dentil moulding

single balcony batistade

Eastlake newels old basement stair

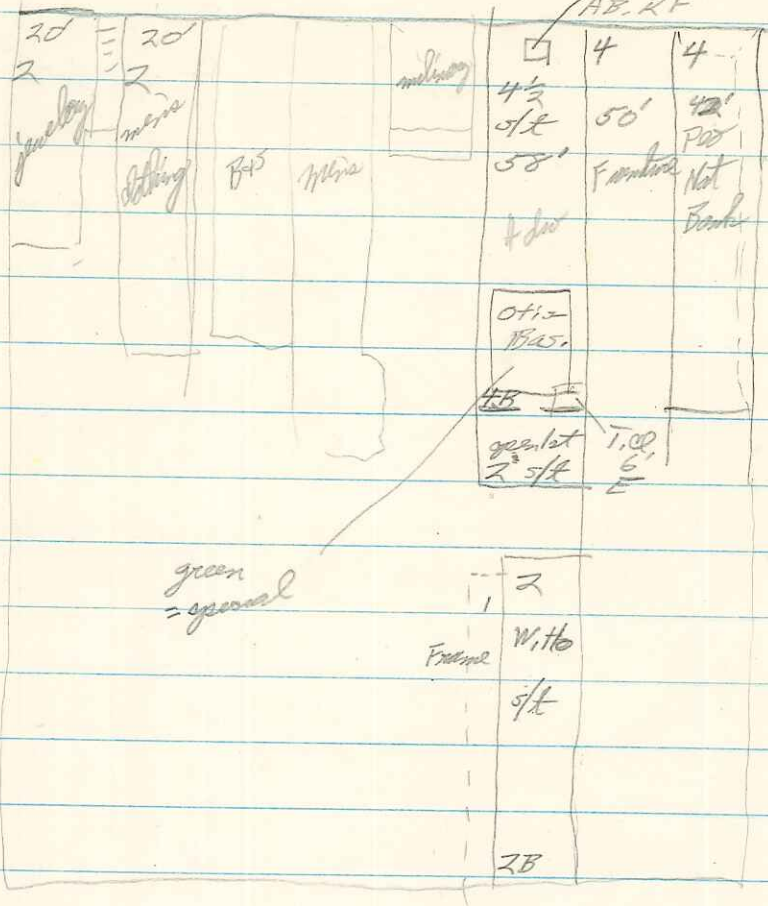
some shelves remain on left side

~~see~~ 2-fl dog-leg stair w/ winders

1907

Walker
Bldg
318

IR.OL.
10'
CAB. RF



1920

