

Packet Guide
City of Charlottesville
Board of Architectural Review
Regular Meeting
June 17, 2025 5:30 p.m.
Hybrid Meeting (In-person at Council Chamber and virtual via Zoom)



Pre-Meeting Discussion – 5pm NDS Conference Room 610 E. Market Street

Regular Meeting – 5:30pm

A. Matters from the public not on the agenda [or on the Consent Agenda]

B. Consent Agenda

Note: Meeting minutes for May 20, 2025 will be submitted at the subsequent meeting; please see the [BAR May 2025 video](#) if needed.]

1. Certificate of Appropriateness Application

BAR #25-0083
120 West High Street, TMP 330184000
North Downtown ADC District
Owner: Christ Episcopal Church
Applicant: Devin Donnelly
Project: Partial demo, rear porch and storage area.

C. Deferred Items

2. Certificate of Appropriateness Application

BAR #25-0077
540 Park Street, TMP 520183000
North Downtown ADC District
Owner: Patrick & Jessica Fenn
Applicant: Douglas Croker
Project: Window replacements

3. Certificate of Appropriateness Application

BAR # 24-0038
218 West Market Street, TMP 330276000
Downtown ADC District
Owner: Cavalier Hospitality LLC
Applicant: Bob Pineo, Design Develop
Project: Construction of multi-story hotel

D. New Items

N/A

E. Other Business

5. **Pre-Application Conference**

No formal action will be taken.

BAR #25-0081

555 17th Street NW, TMP #050059000

Rugby Road - University Cir - Venable ADC District

Owner: Pipson Properties LLC

Applicant: Wolf Ackerman Architects / Fred Wolf

Project: Rear Addition

6. **Pre-Application Conference**

No formal action will be taken.

BAR #25-0084

202, 204, and 208 7th Street SW

204 & 208 7th Street SW - Individually Protected Properties

Owners:

202: Monticello Media LLC

204: William Lynch & 204-7 LLC

208: Michael J. Christian

Applicant: Mitchell-Matthews Architects

Project: New multi-story, mixed-use building

7. **Staff Questions**

a. Windows – processes, examples.

b. Sub-committee for BAR bylaws review

F. Adjourn

Certificate of Appropriateness Application

BAR #25-0083

120 West High Street, TMP 330184000

North Downtown ADC District

Owner: Christ Episcopal Church

Applicant: Devin Donnelly

Project: Partial demo, rear porch and storage area.

Application components (please click a bookmark below to go directly to the report pages):

- [Staff Report](#)
- [Historic Survey](#)
- [Application Submittal](#)
- [Existing Conditions Photographs](#)

Certificate of Appropriateness Application

BAR #25-0077

540 Park Street, TMP 520183000

North Downtown ADC District

Owner: Patrick & Jessica Fenn

Applicant: Douglas Croker

Project: Window replacements

Application components (please click a bookmark below to go directly to report pages):

- [Staff Report](#)
- [Application Submittal](#)

Certificate of Appropriateness Application
BAR # 24-0038
218 West Market Street, TMP 330276000
Downtown ADC District
Owner: Cavalier Hospitality LLC
Applicant: Bob Pineo, Design Develop
Project: Construction of multi-story hotel

Components (please click a bookmark below to go directly to report pages):

- [Staff Report](#)
- [Application Submittal](#)

Pre-Application Conference

No formal action will be taken.

BAR #25-0081

555 17th Street NW, TMP #050059000

Rugby Road - University Cir - Venable ADC District

Owner: Pipson Properties LLC

Applicant: Wolf Ackerman Architects / Fred Wolf

Project: Rear Addition

Components (please click a bookmark below to go directly to report pages):

- [Staff Report](#)
- [Application Submittal](#)

Pre-Application Conference

No formal action will be taken.

BAR #25-0084

202, 204, and 208 7th Street SW

204 & 208 7th Street SW - Individually Protected Properties

Owners:

202: Monticello Media LLC

204: William Lynch & 204-7 LLC

208: Michael J. Christian

Applicant: Mitchell-Matthews Architects

Project: New multi-story, mixed-use building

Components (please click a bookmark below to go directly to report pages):

- [Staff Report](#)
- [Historic Surveys \(204 & 208 7th Street SW\)](#)
- [VCRIS Report](#)
- [Application Submittal](#)

**City of Charlottesville
Board of Architectural Review
Staff Report
June 17, 2025**



Certificate of Appropriateness Application

HST25-0083

120 West High Street; TMP 330184000

North Downtown ADC District

Owner: Christ Episcopal Church

Applicant: Devin Donnelly

Project: Removal of the rear porch at formerly 103 West Jefferson Street



Background

Year Built: Carver-Fitzhugh House, 1900
District: North Downtown ADC District
Status: Contributing

Two-story, three bay brick house constructed by Thomas P. Carver. It was acquired in 1905 by James Stuart Fitzhugh, whose family sold it to Christ Episcopal Church in 1953, after which it was used as an educational annex. The one-story rear porch is noted in the historical survey, see attached.

Prior BAR Reviews

No previous BAR reviews.

Application

- Applicant submittals: Abrahamse & Company Builders rendering, elevations, and plans, dated June 3, 2025. Misc. photo(s).

CoA for removal of a single-story, open porch at the rear elevation, NW corner.

Discussion

The existing porch is approximately 50 sq ft, which represents a small fraction of the approximately 3,000 sq ft structure. This CoA request was therefore reviewed as an alteration, not a demolition.

Staff recommends approval of the requested CoA. The porch has been documented. In its current state, removal is recommended. And removing it will not have significant adverse impact on the house or the district.

Staff visited the site on June 9, 2025. While unable to access the porch, it could be observed through the plank wall on the west side of the porch. The porch has an ell-shaped roof with a built-in gutter. The east side overhangs an access stair to the cellar, the west side covers a small, open porch with a traditional bead-board ceiling and wood deck. The wood elements are extremely deteriorated. The structure could be re-constructed, but staff's opinion is that it is beyond repair or rehabilitation. A single, turned porch post remains in place and some of the wall planks are likely the only salvageable materials that remains. Staff suggests the motion include a recommendation that any salvageable material is either retained on-site, should a future recreation of the porch be considered, or be incorporated into any new work at this location.

Suggested Motions

Approval [with approval of the consent agenda]: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the demolition of the rear porch at the brick house formerly 103 West Jefferson Street satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the application as submitted, and the BAR recommends any salvageable elements be retained on-site, should a future recreation of the porch be considered, or be incorporated as a design elements in any new work at this location.

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA "cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements."

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the

Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations:

- i. Along the Downtown Mall, the BAR may limit story height to within 2 stories of the prevailing story height of the block;
- ii. In all other areas subject to review, the BAR may reduce the allowed height by no more than 2 stories; and
- iii. The BAR may require upper story stepbacks of up to 25'.

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

Links to Pertinent ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 3 New Construction and Additions](#)

[Chapter 4 Rehabilitation](#)

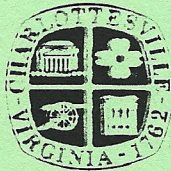
[Chapter 7 Demolition and Moving](#)

APPENDIX

Site photographs, provided by NDS Staff, June 9, 2025.



Architectural And Historic Survey



Identification

STREET ADDRESS: 103 W. Jefferson Street
 MAP & PARCEL: 170-147
 CENSUS TRACT AND BLOCK: 1-315
 PRESENT ZONING: B-1
 ORIGINAL OWNER: Thomas P. Carver
 ORIGINAL USE: Residence
 PRESENT USE: Sunday School Annex
 PRESENT OWNER: Christ Episcopal Church
 ADDRESS: 116 W. High Street
 Charlottesville, VA

HISTORIC NAME: Carver-Fitzhugh House
 DATE / PERIOD: 1900
 STYLE: Victorian
 HEIGHT (to cornice) OR STORIES: 2 storeys
 DIMENSIONS AND LAND AREA: 55' x 88.5' (4868 sq. ft.)
 CONDITION: Good
 SURVEYOR: Bibb
 DATE OF SURVEY: Fall 1980
 SOURCES: City Records

ARCHITECTURAL DESCRIPTION

This two-storey house is three bays wide with irregular massing. There is a projecting bay on the facade, a semi-octagonal projecting bay on the east side, and a rear projecting pavillion which also projects slightly to the east. The house is set on a low brick foundation with a partial basement. Wall construction is of brick laid in 5-course American-with-Flemish bond on the facade and 7-course American bond elsewhere. The high-pitched slate hip roof has gables over the projecting bays and also over the western bay of the rear elevation. The gables on the facade and east side are covered with pressed tin, and each has a 4-light casement window. The two rear gables are covered with wooden shingles; the western one has a tiny window on each side of a small interior end chimney, and the other has a triangular-headed air vent. There is also an interior end chimney with corbelled cap and stringcourse on the east side of the house and a small interior chimney. The roof has a boxed cornice with returns. Brackets support the overhanging corners of the roof over the semi-octagonal bay and the clipped southeast corner of the projecting pavillion. Windows are segmental-arched, double-sash, 1-over-1 light, the same height at both levels. Those in the projecting bays are somewhat wider. At the first level of the center plane of the semi-octagonal bay, there is a group of three short and high 9-light casement windows. Small fixed-sash windows at each level in the western bay of the facade, with one light bordered by small stained glass lights, and a small circular window on the west side of the house light the two-flight dog-leg stair which continues to the attic level. A one-storey veranda covers the western two bays of the facade. It has a low hip roof with boxed cornice, a dentiled frieze, three Tuscan columns, a Colonial Revival balustrade, and concrete floor and steps. The entrance door in the central bay has five horizontal panels. A one-storey sun parlor covers the southern bay of the east side of the house. It has a nearly flat roof with dentiled cornice and 15-light casement windows. A one-storey back porch covers the western bay. The projecting pavillion is connected to the church building by a hyphen.

HISTORICAL DESCRIPTION

Thomas P. Carver bought this lot and the one behind it in 1889 (City DB 1-221). Tax records and Sanborn maps show that he built a house on the High Street end of the property in 1890 and this house in 1900. John G. Williams, trustee for Mrs. Delia S. Tayloe and her children, bought this house from Carver in 1901 (DB 12-127) and four years later, after her death, sold it to James Stuart Fitzhugh (DB 16-89) whose family lived there for many years. Christ Episcopal Church bought the house from the Fitzhugh heirs in 1953 (DB 170-147). It has been connected to the church building and is used as a Sunday School annex. Additional References: City DB 26-61.

Name: Carver-Fitzhugh House

103 W. Jefferson St.

Name The Haven

County/City Accomac

VIRGINIA HISTORIC LANDMARK





Owner: Christ Episcopal
Address: 120 W High Street, Charlottesville, VA 22902
Parcel: 330184000



Abrahamse
& Company
BUILDERS

ABRAHAMSE AND COMPANY BUILDERS
325 Winding River Lane
Suite 202
Charlottesville, VA 22911
T: 434-295-9379

CLIENT
Christ Episcopal
120 West High Street
Charlottesville VA 22902

PROJECT ADDRESS
120 West High Street
Charlottesville VA 22902

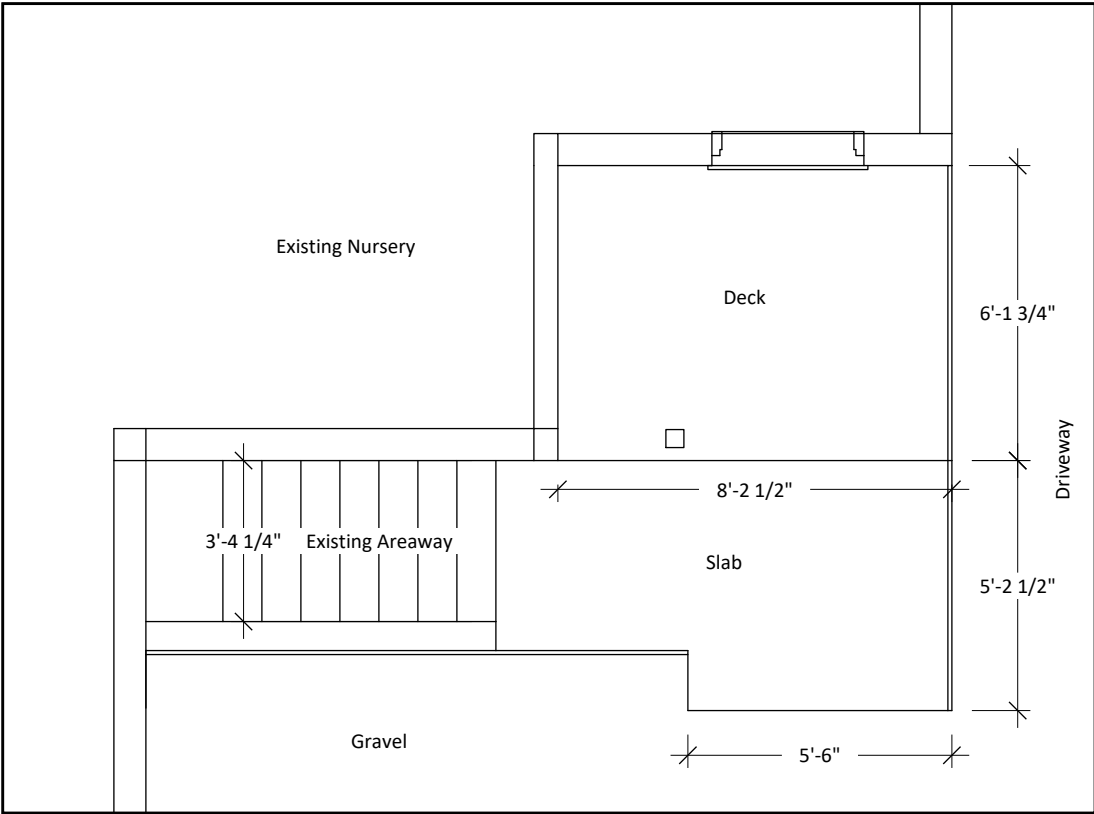
ISSUE
June 3 2025
RE-ISSUE

PROJECT
Christ Episcopal

A0.1

DESCRIPTION
Cover

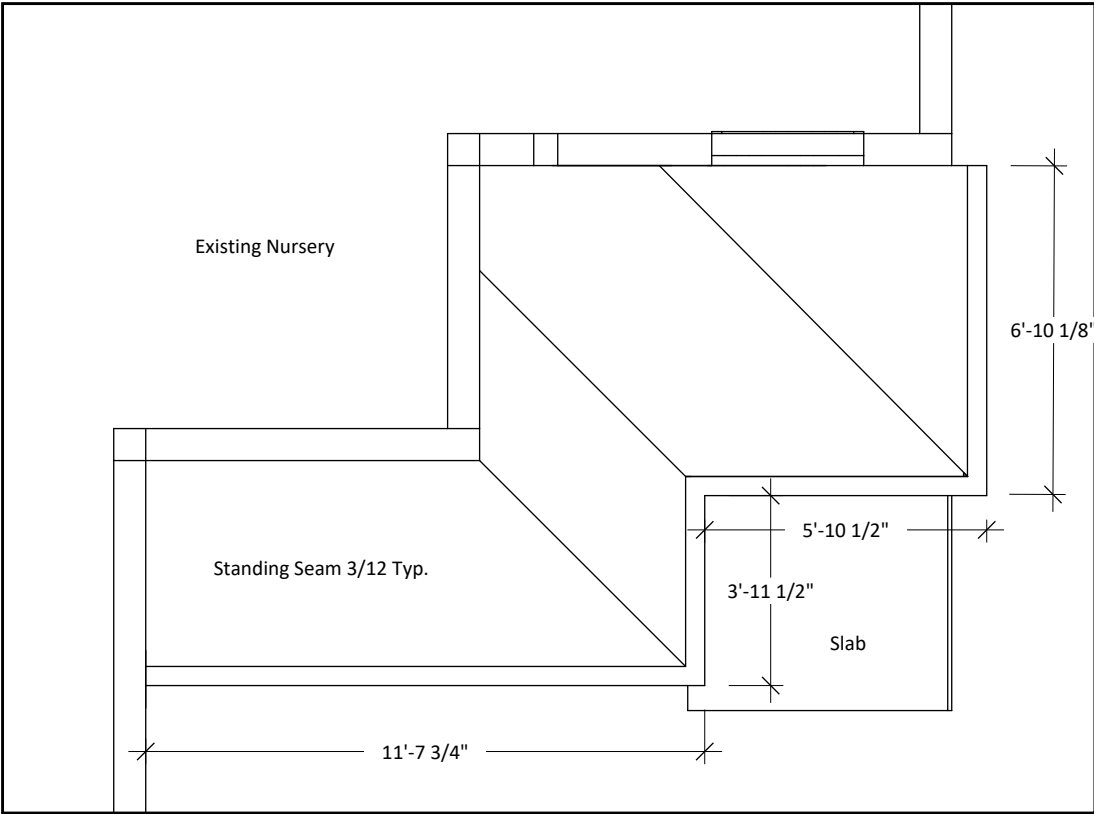
Exhibit C



Plan View

SCALE: 1/4"=1'

A
2



Roof Plan

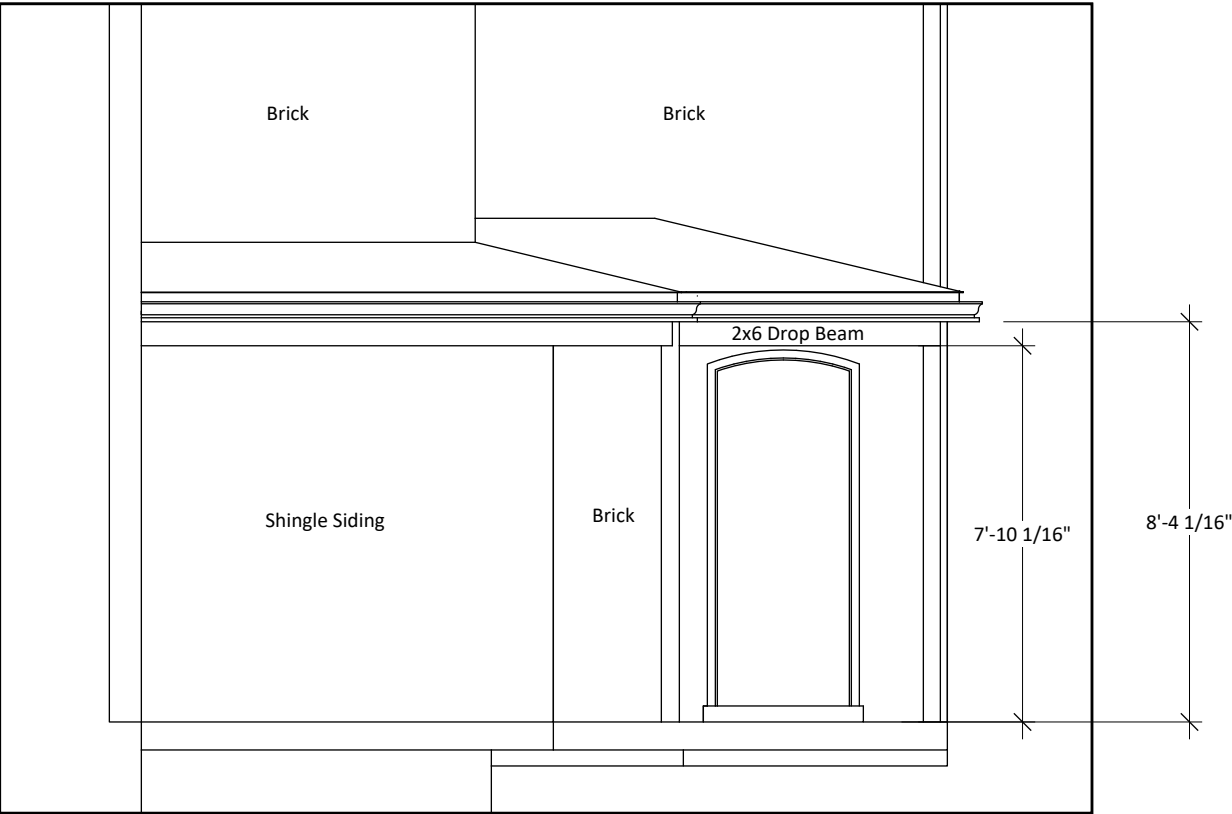
SCALE: 1/4"=1'

B
2

North Elevation

SCALE: 1/4"=1'

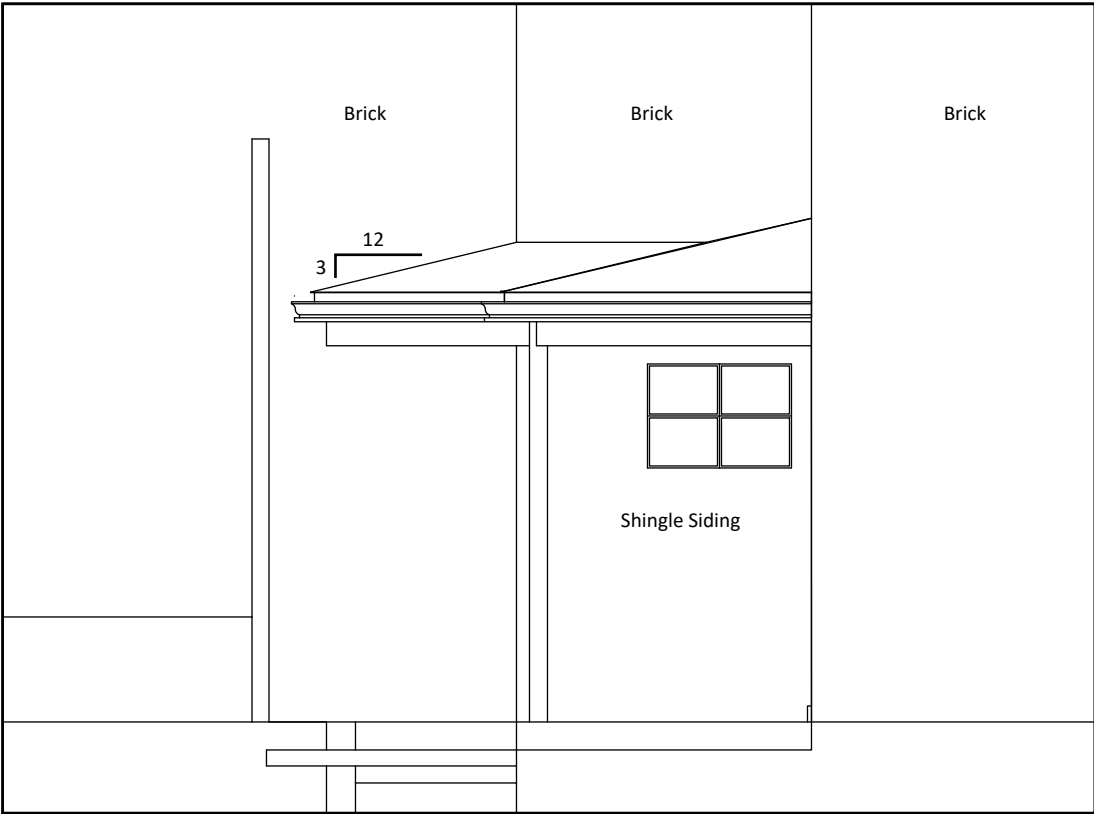
C
2



West Elevation

SCALE: 1/4"=1'

D
2



Abrahamse
& Company
BUILDERS

ABRAHAMSE AND COMPANY BUILDERS
325 Winding River Lane
Suite 202
Charlottesville, VA 22911
T: 434-295-9379

CLIENT
Christ Episcopal
120 West High Street
Charlottesville VA 22902

PROJECT ADDRESS
120 West High Street
Charlottesville VA 22902

ISSUE
June 3 2025

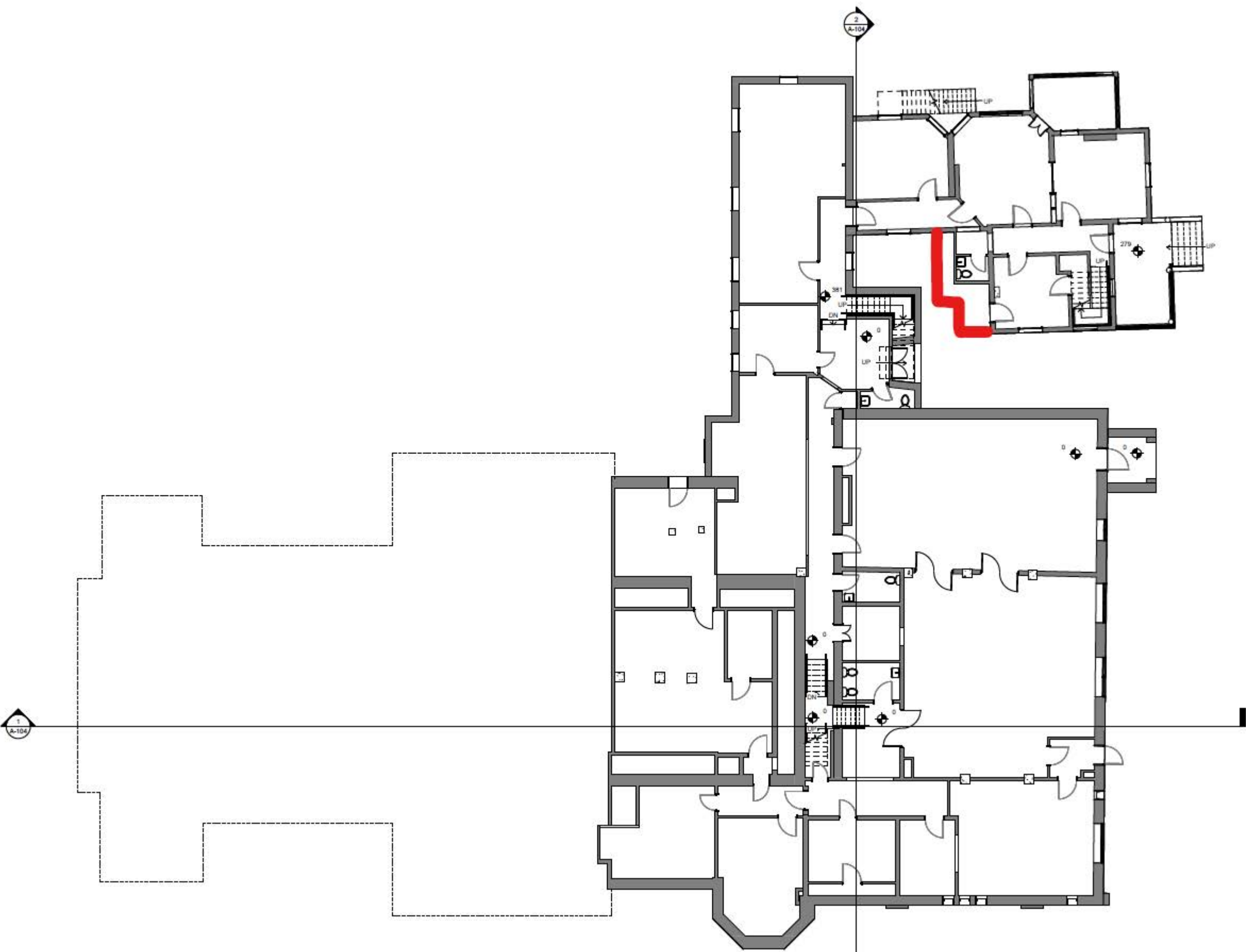
RE-ISSUE

PROJECT
Christ Episcopal

A0.2

DESCRIPTION
As-Built

Exhibit C





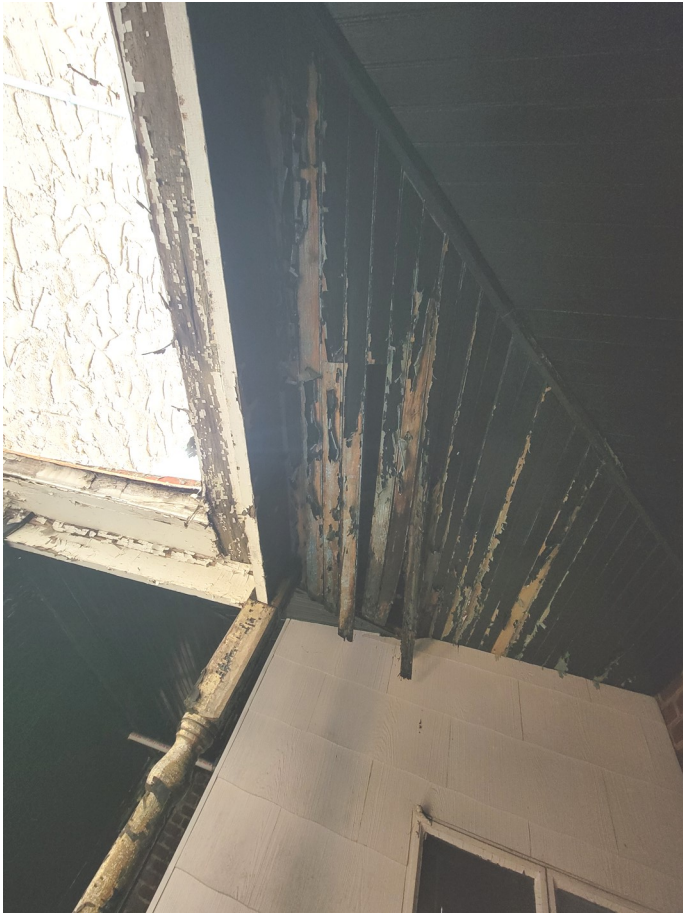
103 West Jefferson Street (Carver-Fitzhugh House, 1900)
Photo Documentation of Current Conditions — Rear porch

CoA Application
120 W. High Street— Christ Episcopal Church

June 2025











**City of Charlottesville
Board of Architectural Review
Staff Report
June 17, 2025**



Certificate of Appropriateness Application

BAR #25-0077

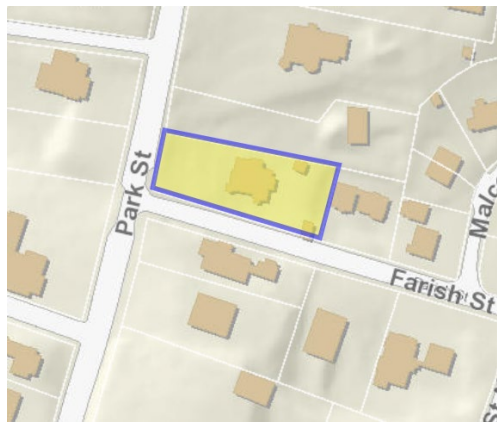
540 Park Street, TMP 520183000

North Downtown ADC District

Owner: Patrick & Jessica Fenn

Applicant: Douglas Croker / Ilex Construction

Project: Window replacements



Background

Year Built: 1900

District: North Downtown ADC District

Status: Contributing.

540 Park Street is a two-story asymmetrical wood house with a Doric veranda. Constructed by William T. Vandergrift for the Maphis family. Wood siding was covered in stucco.

Prior BAR Reviews

(See Appendix.)

Application

- Applicant submittals: Ilex Construction narrative letter, dated May 27, 2025, with attachments: reference photographs of nearby properties and the main house; City's historical survey; floor plan of house; photographs of windows; and Lepage Millwork window details/specs sheets 1 through 7 (26 pages).

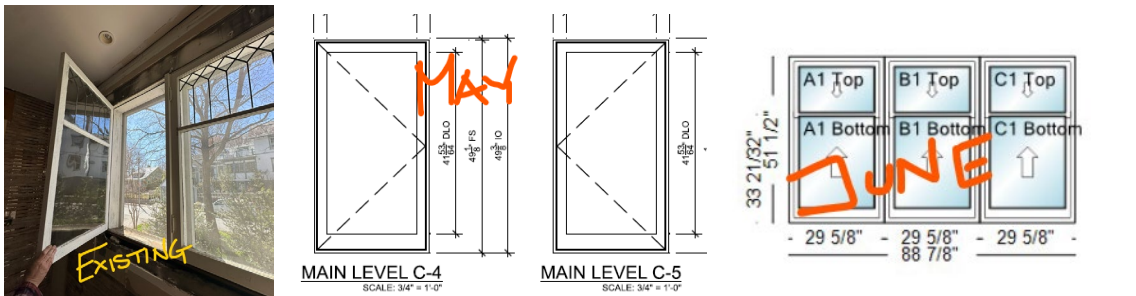
CoA request for the replacement of existing windows using Lepage Millwork painted wood windows with insulated glass. (Where divided lites are simulated with applied muntin, there is an internal spacer, consistent with the design guidelines.)

Discussion

Staff recommends approval. In response to the BAR's discussion on May 20, the application has been modified to replace the existing double-hung windows with double-hung windows. Additionally, the large, single-lite window at the first-floor front elevation (see below) will be replaced with twin double-hung windows similar to the existing above and reintroducing what had most likely been there originally.



Additionally, at the triple casement windows in the first-floor south (side) elevation, applicant has requested, and staff concurs, that replacements be two-lite casement windows (similar to the existing), not double-hung per the revised application.



Suggested Motions

Approval Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to the proposed window replacements at 540 Park Street satisfy the BAR's criteria and are compatible with this property and other properties in this ADC District, and that the BAR approves the application [as submitted].

Or, [as submitted with the following conditions: ...]

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to the proposed window replacements at 540 Park Street do not satisfy the BAR's criteria and are not compatible with this property and other properties in this ADC District, and that for the following reasons the BAR denies the request: [...]

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA “cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements.”

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [not germane to this request]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;

- v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
- vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
- viii. Any applicable provisions of the City's design guidelines.

Pertinent Design Review Guidelines for Rehabilitations

Link: [Chapter 4 Rehabilitation](#)

C. Windows

1. Prior to any repair or replacement of windows, a survey of existing window conditions is recommended. Note number of windows, whether each window is original or replaced, the material, type, hardware and finish, the condition of the frame, sash, sill, putty, and panes.
2. Retain original windows when possible.
- [...]
5. Repair original windows by patching, splicing, consolidating or otherwise reinforcing. Wood that appears to be in bad condition because of peeling paint or separated joints often can be repaired.
6. Replace historic components of a window that are beyond repair with matching components.
7. Replace entire windows only when they are missing or beyond repair.
8. If a window on the primary façade of a building must be replaced and an existing window of the same style, material, and size is identified on a secondary elevation, place the historic window in the window opening on the primary façade.
- [...]
10. Avoid changing the number, location, size, or glazing pattern of windows by cutting new openings, blocking in windows, or installing replacement sash that does not fit the window opening.
11. Do not use inappropriate materials or finishes that radically change the sash, depth of reveal, muntin configuration, reflective quality or color of the glazing, or appearance of the frame.
12. Use replacement windows with true divided lights or interior and exterior fixed muntins with internal spacers to replace historic or original examples.
13. If windows warrant replacement, appropriate material for new windows depends upon the context of the building within a historic district, and the age and design of the building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred. Vinyl windows are discouraged.
14. False muntins and internal removable grilles do not present an historic appearance and should not be used.
15. Do not use tinted or mirrored glass on major facades of the building. Translucent or low (e) glass may be strategies to keep heat gain down.

[...]

APPENDIX

Prior BAR Actions

July 18, 2005- Administrative Approval given to repaint the house.

September 20, 2005- BAR approved CoA with conditions (7-0-1) architectural and site changes with certain details to come back to BAR.

Architectural changes:

1. Rear porch extended; replace stairs at south end of porch with at the north end, to wood, painted; replace double window with a painted, wood doors with transom.
2. Install painted, wood shutters on all windows with operable hardware.
3. Replace front stair treads.

Site changes:

1. Remove existing wood fence, concrete and brick walks, a portion of the asphalt pavement, and planting beds.
2. Construct brick walks and dining terrace using salvaged bricks.
3. Front yard: install evergreen hedge; wood gates; stone dust walkway with brick edge.
4. Rear yard: Construct swimming pool with bluestone coping; flagstone pool terrace; stone privacy wall with painted wood cap (along Farish Street); painted. wood security fence around balance of rear yard.

April 18, 2006- BAR approved CoA (6-0) fence details.

October 16, 2007- BAR approved (6-0-1) CoA for shed. BAR requested that the roof framing on the underside of the exposed roof is dealt with similarly to the existing detail.

November 18, 2014- BAR approved CoA, with re-roofing details to be submitted for Administrative Approval. [Note that removal of Philadelphia gutters would require an additional application for BAR approval].

February 21, 2018 – BAR approved CoA to replace the existing painted standing seam metal roof with a copper standing seam roof with pan dimensions and seam heights to match the existing. The new roof will have copper snow guards in a 2-1-2 pattern. Replace the Philadelphia Gutter system with 6” copper half round gutters mounted on eaves with 4” copper downspouts. BAR required downspouts be painted to minimize visibility and, as much as possible, locate downspouts to minimize visibility, especially at prominent corners.

December 21, 2021 – BAR held a preliminary discussion on request to raze and construct a new pool house, and an addition and alterations to the house.

February 15, 2022 – BAR approved (9-0) a CoA to raze and construct a new pool house, and an addition and alterations to the house.

May 20, 2025 – Applicant deferred their CoA request to confer with the property owner regarding window selections. [Link to meeting video at selected time](#); [Link to May BAR Staff Report](#).

ILEX® CONSTRUCTION, INC.

433 PARK STREET ~ CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WEST VIRGINIA WASHINGTON DC

May 27, 2025

Re: 540 Park Street Window Replacement

To the members of the Charlottesville Board of Architectural Review:


As part of a building rehabilitation, the owners of the 540 Park Street Residence propose replacing exterior windows to provide insulated, properly fit, operable units, made with more durable and sustainable materials, and configured for updated interior spaces. Replacement windows will be installed from the inside, existing exterior window trim and sills to remain.

This residence is in the North Downtown Architectural Design Control District ("ADC") so is considered a "contributing structure" and from our discussions with Jeff Werner, we understand that special consideration must be made when replacing windows on the Park Street (West) Elevation.

Please see the attached reference images, shop drawings, and the narrative below:

1. Replacement window specification: LePage Millwork H-100 painted wood windows with insulated glass.
2. Window operation to match existing windows, refer to attached window layout diagram and notes below:
 - a. Basement Level:
 - i. (5) push out casement, refer to diagram window type D-6.
 - ii. (5) double hung, refer to diagram window type D-1, D-2, D-3, D-4, D-5.
 - b. Main Level (except windows C-3 & C-7):
 - i. (11) double hung, refer to diagram window type C-1, C-2, C-4, C-5, C-6, C-9, C-10.
 - ii. (1) awning window, refer to diagram window type C-8.
 - iii. (9) existing double hung windows to remain at "modern" porch addition, refer to diagram window type E-1, E-2, E-3.
 - c. Main Level C-3:
 - i. (3) double hung at new perimeter Kitchen counters, includes keeping the original exterior trim and sill but replacing the double hung with a shorter unit and a fixed panel below. Please see the attached sketch.
 - b. Main Level C-7:
 - i. (2) double hung windows similar to the paired double hung windows above, to replace non-original single fixed window, refer to diagram window type C-7.

Initialed by:
Doug V. Croker 

Patrick Penn 

- d. Upper Level:
 - i. (17) double hung, refer to diagram window type B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-9, B-10.
 - ii. (1) fixed window, refer to diagram window type B-8.
- e. Attic Level:
 - i. (1) fixed window half round window, refer to diagram window type A-1.
 - ii. (2) push out casement with divided lites, refer to diagram window type A-2, A-3.
 - iii. (1) push out casement, refer to diagram window type A-4.

Please let us know if you need any further information or images and thank you for considering this proposal.

Best Regards,

Doug V. Croker, Lex Construction CEO

Signature

Date

Patrick Fenn, Home Owner

Signature

Date

Initialed by:

Doug V. Croker

Patrick Fenn

ILEX® CONSTRUCTION, INC.

540 Park Street

Nearby Properties - Reference Photographs



601 Park Street – East/Park Street



532 Park Street – West/Park Street



534 Park Street – West/Park Street



532 Park Street. – North/Park Street



616 Park Street – Southwest View



534 Park Street – North/Farish Street

433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs

WEST ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs

EAST ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs
NORTH ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs
SOUTH ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Nearby Properties - Reference Photographs



601 Park Street – East/Park Street



532 Park Street – West/Park Street



534 Park Street – West/Park Street



532 Park Street. – North/Park Street



616 Park Street – Southwest View



534 Park Street – North/Farish Street

433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs

WEST ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs

EAST ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs
NORTH ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

ILEX® CONSTRUCTION, INC.

540 Park Street

Main House – Reference Photographs

SOUTH ELEVATION



433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

LANDMARK



SURVEY

| IDENTIFICATION | | BASE DATA | |
|-----------------------|------------------------|-------------------------------|----------------------|
| Street Address: | 540 Park Street | Historic Name: | Maphis-Mustard House |
| Map and Parcel: | 52-183 | Date/Period: | 1900 |
| Census Tract & Block: | 3-405 | Style: | Victorian Vernacular |
| Present Owner: | Mr. Paul Mustard | Height to Cornice: | |
| Address: | 540 Park Street | Height in Stories: | 2 1/2 |
| Present Use: | Residence & Apartments | Present Zoning: | R-3 |
| Original Owner: | Maphis family | Land Area (sq.ft.): | 86 x 318 |
| Original Use: | Residence | Assessed Value (land + imp.): | 5400 + 8220 = 13,620 |

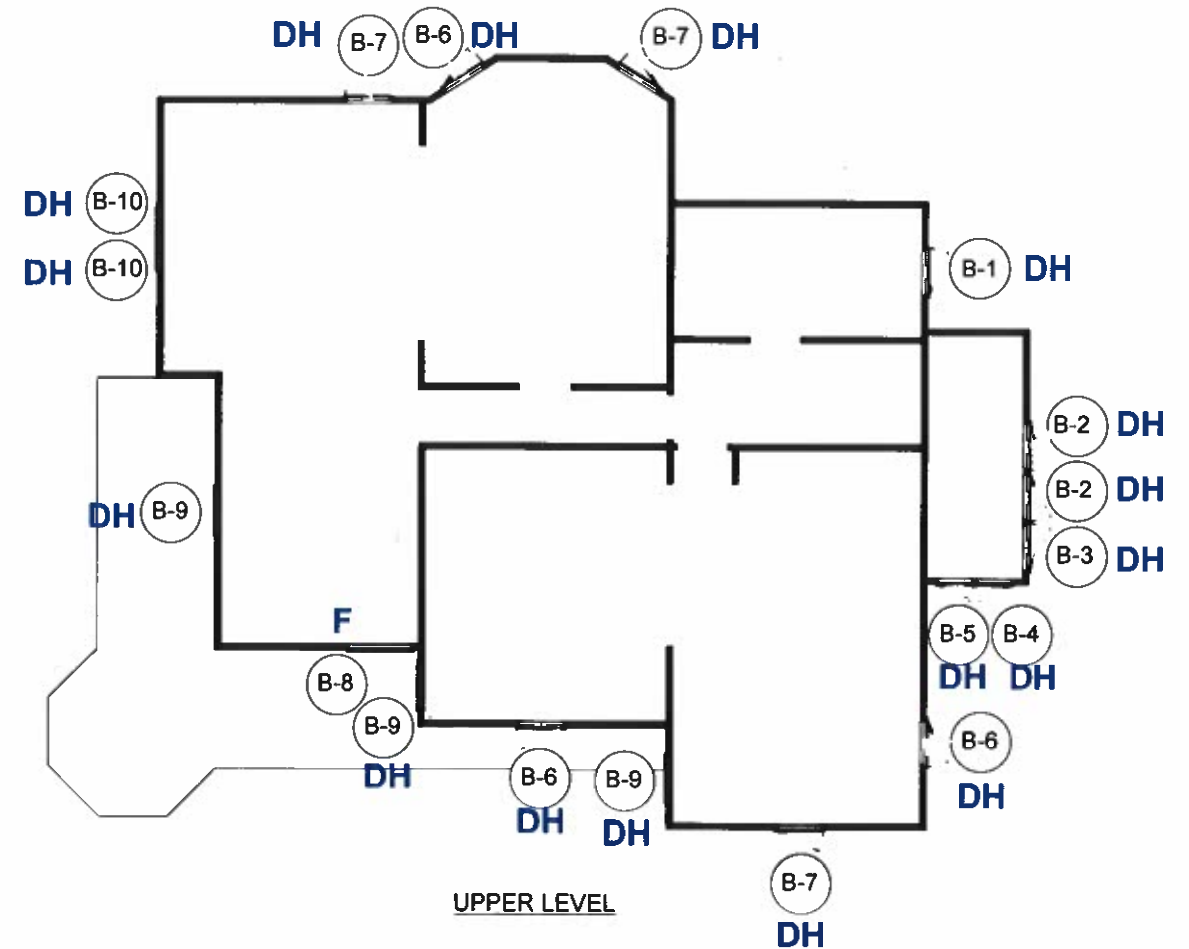
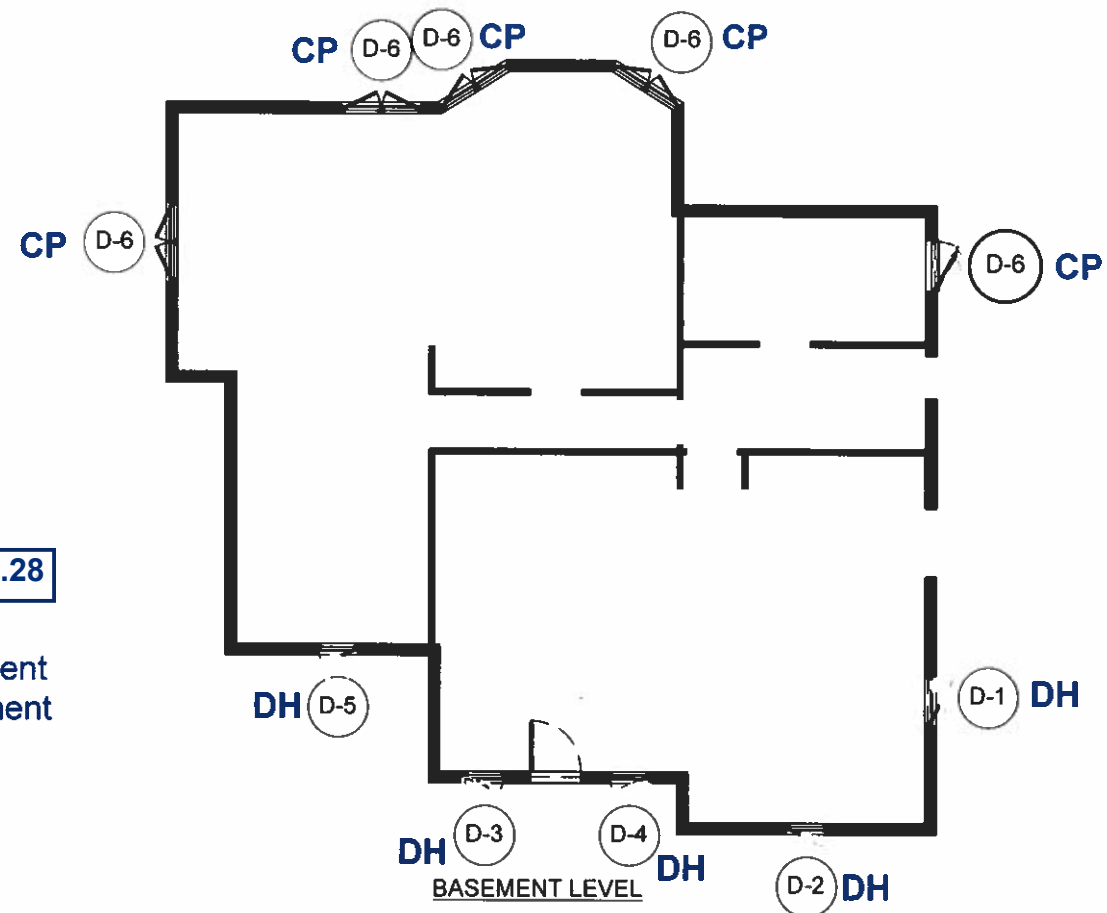
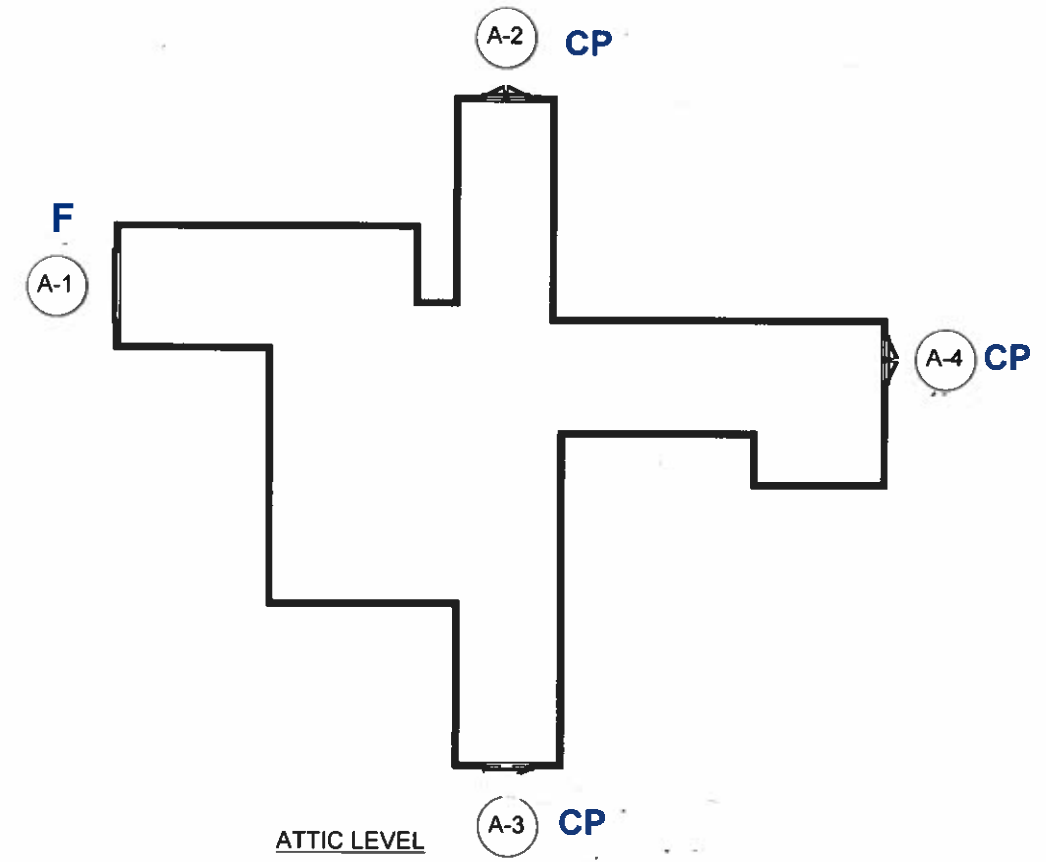
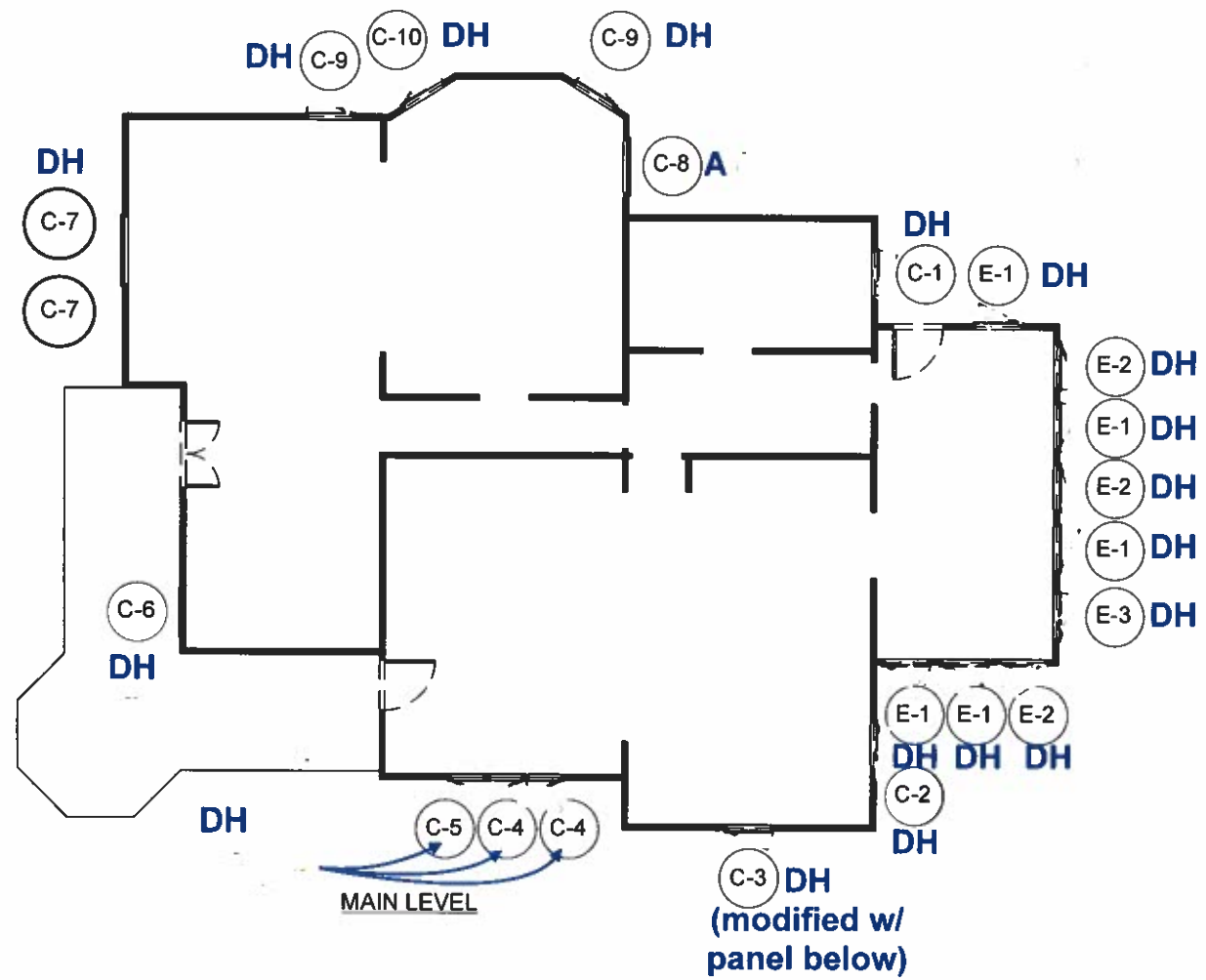
ARCHITECTURAL DESCRIPTION

The house is an example of a modified Victorian style with its typical asymmetrical massing and varied roof-silhouette. The verticle massing of the Maphin-Mustard House is quite handsome giving the structure a noble, serene quality which is enhanced by its bucolic setting among large shade trees and box. The simple Doric veranda is nicely scaled so as to compliment the verticalness of the main house. The house is stucco over frame and has a tin roof. It was built by General Alexander A. Vandergrift's father William T. Vandergrift, a local craftsman of some repute.

HISTORICAL DESCRIPTION

The house was built by the Maphis family in 1900. Mr. Maphis purchased the corner lot from Judge R. T. W. Duke who resided in the large white frame house next door. Bessie D. Maphis conveyed the property to Mary Davis Thomas Cleveland in 1942. Stella Mustard purchased it from Mrs. Cleveland in 1948, and in 1952 it passed to her son Paul Mustard, the present owner.

| CONDITIONS | SOURCES |
|------------|---------------------------------|
| Average | Miss Helen Duke City Records |



LEGEND - 2025.05.28

A = awning
 CS = single casement
 CP = paired casement
 DH = double hung
 F = fixed
 H = hopper

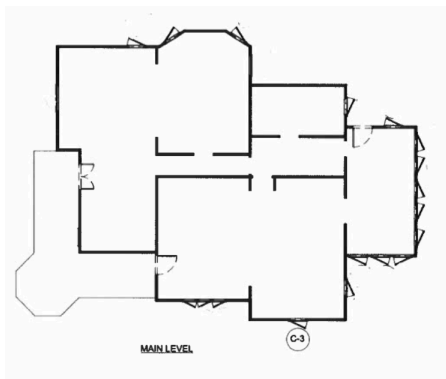
ILEX® CONSTRUCTION, INC.

540 Park Street

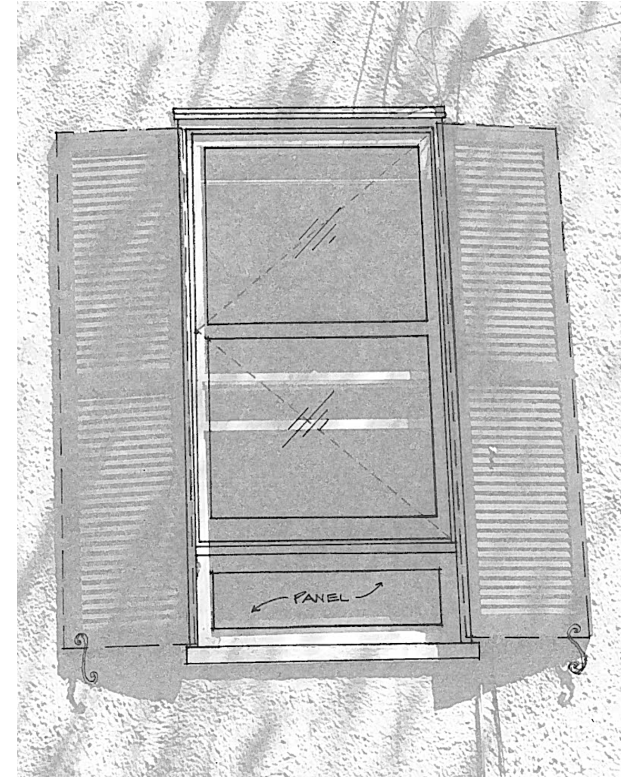
Main House – Window Photographs
SOUTH ELEVATION MAIN LEVEL WINDOW – C-3



Exterior View Window C-3



Existing



Proposed

433 PARK STREET, CHARLOTTESVILLE, VA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

MARYLAND VIRGINIA WASHINGTON DC

Products Summary

Item : 100-1 **Quantity :** 1
Location : C-7 Office

Frame Size : 55" X 81.50001"
Ext. Casing : 55" X 81.50001"

Item : 200-1 **Quantity :** 1
Location : C-6 Front stairs

Frame Size : 42" X 66"
Ext. Casing : 42" X 66"

Item : 300-1 **Quantity :** 1
Location : C4 & C-5 Family Rm

Frame Size : 88.875" X 51.5"
Ext. Casing : 88.875" X 51.5"

Item : 400-1 **Quantity :** 1
Location : C3 - Kitchen shortened - right side

Frame Size : 42" X 66"
Ext. Casing : 42" X 66"

Item : 500-1 **Quantity :** 1
Location : C-2 Kitchen rear

Frame Size : 37.25" X 81.50001"
Ext. Casing : 37.25" X 81.50001"

Item : 600-1 **Quantity :** 8
Location : E1,E2, E2 Dining Room

Frame Size : 35.5" X 76"
Ext. Casing : 35.5" X 76"

Item : 700-1 **Quantity :** 1
Location : E1 tempered near door Dining Room

Frame Size : 35.5" X 76"
Ext. Casing : 35.5" X 76"

Item : 800-1 **Quantity :** 1
Location : C-1 Pantry rear

Frame Size : 38" X 81.50001"
Ext. Casing : 38" X 81.50001"

Item : 900-1 **Quantity :** 1
Location : C-8 Living Room

Frame Size : 45" X 27"
Ext. Casing : 45" X 27"

Item : 1000-1 **Quantity :** 3
Location : C-9 & C-10 Office / Living Room left side

Frame Size : 42" X 81.50001"
Ext. Casing : 42" X 81.50001"

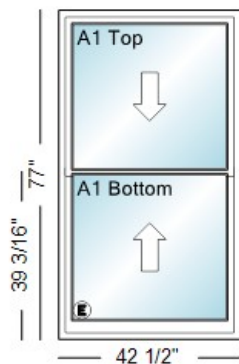
Item : 1100-1 **Quantity :** 1
Location : B-10 Bedroom 204

Frame Size : 56.5" X 77"
Ext. Casing : 56.5" X 77"

Item : 1200-1 **Quantity :** 1
Location : B-8 DH fixed transom Stairs right side

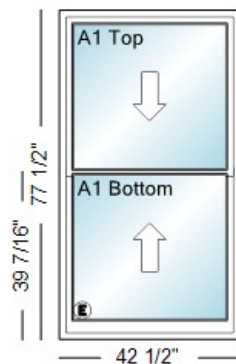
Frame Size : 50" X 32"
Ext. Casing : 50" X 32"

Item : 1300-1 **Quantity :** 3
Location : B9 Closet 201, Mster Bed, Mstr closet



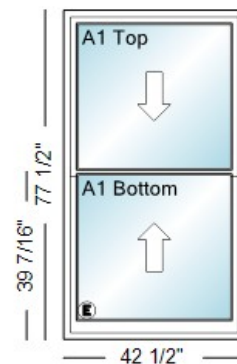
Frame Size : 42.5" X 77"
Ext. Casing : 42.5" X 77"

Item : 1400-1 **Quantity :** 2
Location : B6 Master Bedrm, Master Closet



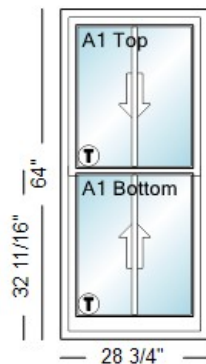
Frame Size : 42.5" X 77.5"
Ext. Casing : 42.5" X 77.5"

Item : 1500-1 **Quantity :** 1
Location : B7 Master Closet



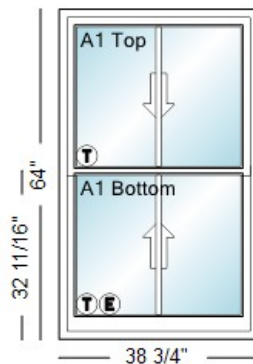
Frame Size : 42.5" X 77.5"
Ext. Casing : 42.5" X 77.5"

Item : 1600-1 **Quantity :** 2
Location : B4 & B5 Master Bath tempered



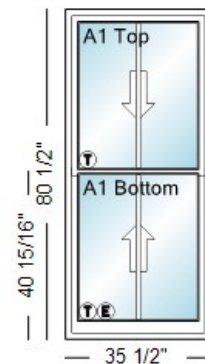
Frame Size : 28.75" X 64"
Ext. Casing : 28.75" X 64"

Item : 1700-1 **Quantity :** 3
Location : B2 & B3 Master Bath tempered



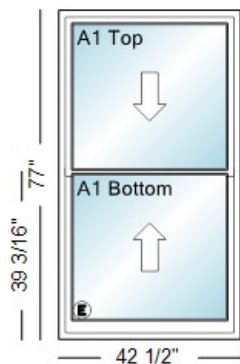
Frame Size : 38.75" X 64"
Ext. Casing : 38.75" X 64"

Item : 1800-1 **Quantity :** 1
Location : B1 Bath 206 tempered



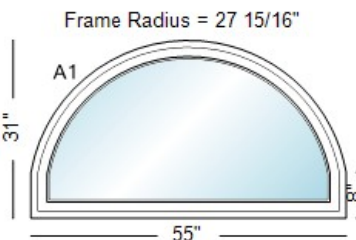
Frame Size : 35.5" X 80.5"
Ext. Casing : 35.5" X 80.5"

Item : 1900-1 **Quantity :** 3
Location : B6 & B7 Bed Room #204 & 205
left side



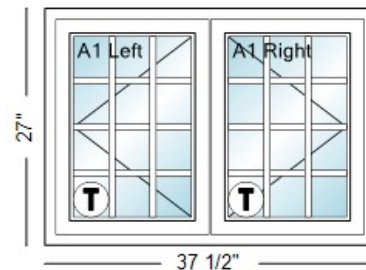
Frame Size : 42.5" X 77"
Ext. Casing : 42.5" X 77"

Item : 2000-1 **Quantity :** 1
Location : A-1 Attic front Fixed sash non-operable



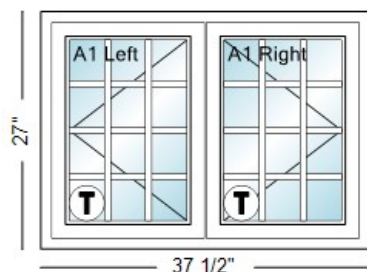
Frame Size : 55" X 31"
Ext. Casing : 55" X 31"

Item : 2100-1 **Quantity :** 1
Location : A-2 Attic Bath - tempered



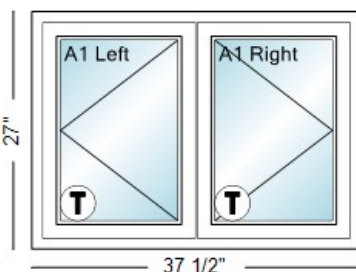
Frame Size : 37.5" X 27"
Ext. Casing : 37.5" X 27"

Item : 2200-1 **Quantity :** 1
Location : A-3 Attic Bed rm 300-tempered



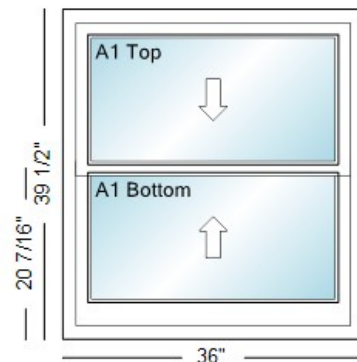
Frame Size : 37.5" X 27"
Ext. Casing : 37.5" X 27"

Item : 2300-1 **Quantity :** 1
Location : A-4 Attic rear stairs - tempered



Frame Size : 37.5" X 27"
Ext. Casing : 37.5" X 27"

Item : 2400-1 **Quantity :** 1
Location : D1 Basement Bed #005 rear



Frame Size : 36" X 39.5"
Ext. Casing : 36" X 39.5"

Item : 2500-1
Quantity : 1

Location : D2 Bsmt Bed #005 right side

Frame Size : 37.5" X 51"

Ext. Casing : 37.5" X 51"

Item : 2600-1
Quantity : 2

Location : D-3 & D-4 Bsmt Living Rm right side

Frame Size : 29" X 51"

Ext. Casing : 29" X 51"

Item : 2700-1
Quantity : 1

Location : D-5 Bsmt Bed Rm #001 right side

Frame Size : 29.5" X 53"

Ext. Casing : 29.5" X 53"

Item : 2800-1
Quantity : 1

Location : D6 - Finished Basement front

Frame Size : 54" X 35"

Ext. Casing : 54" X 35"

Item : 2900-1
Quantity : 4

Location : D6 - Finished Basement left side & Mech room

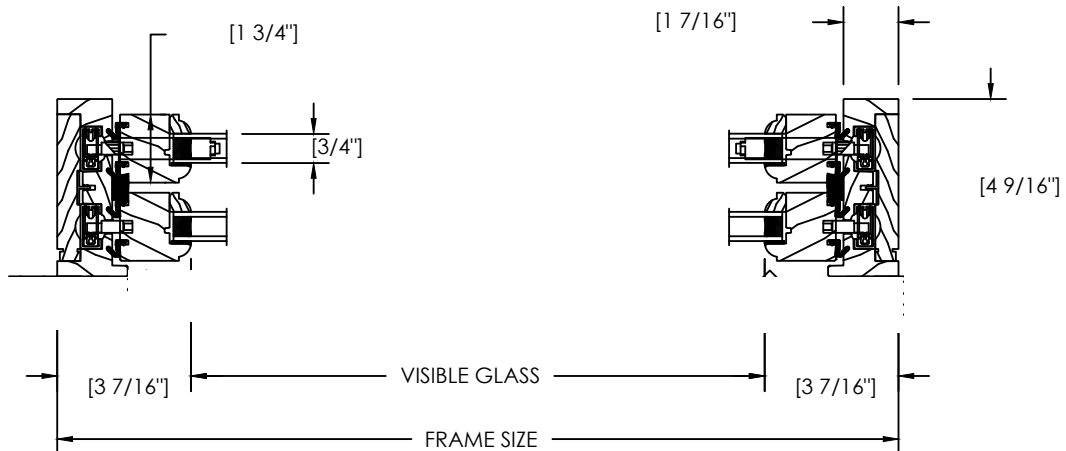
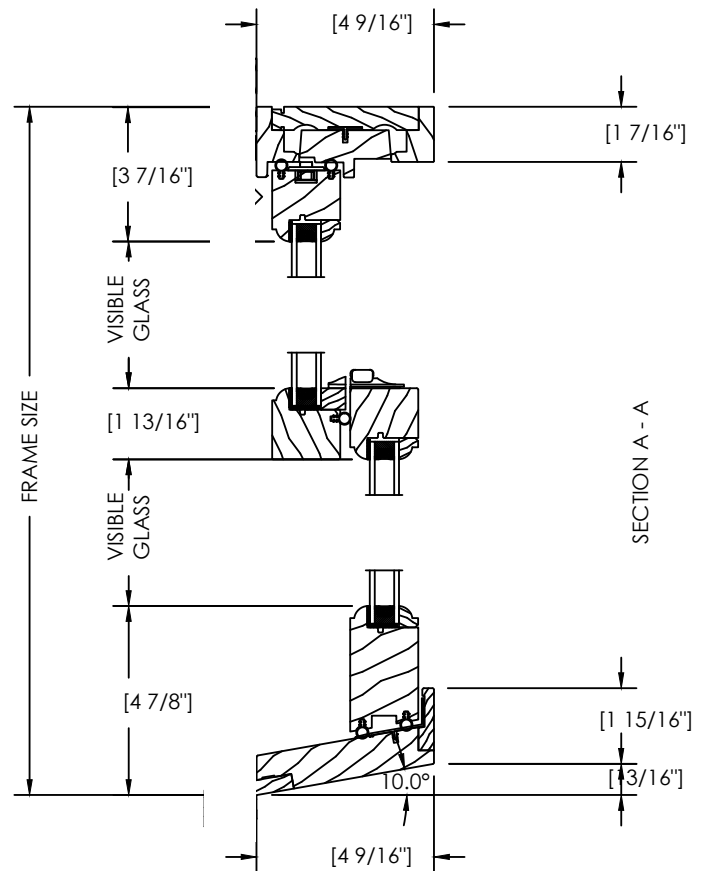
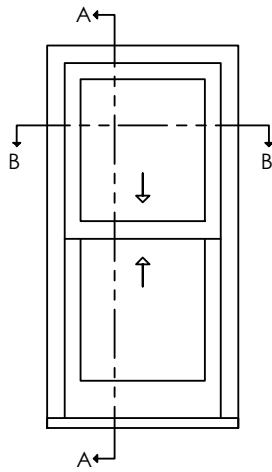
Frame Size : 40" X 40"

Ext. Casing : 40" X 40"

Total Quantity : 50

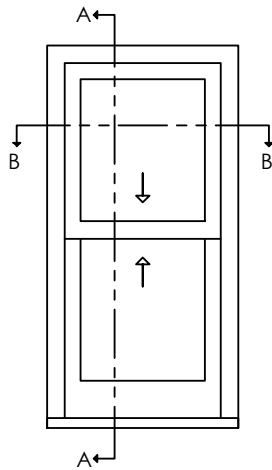
* Includes Nic-Nac quantities

WOOD H-100 HUNG (1 3/4" SASH, 4 9/16" FRAME)

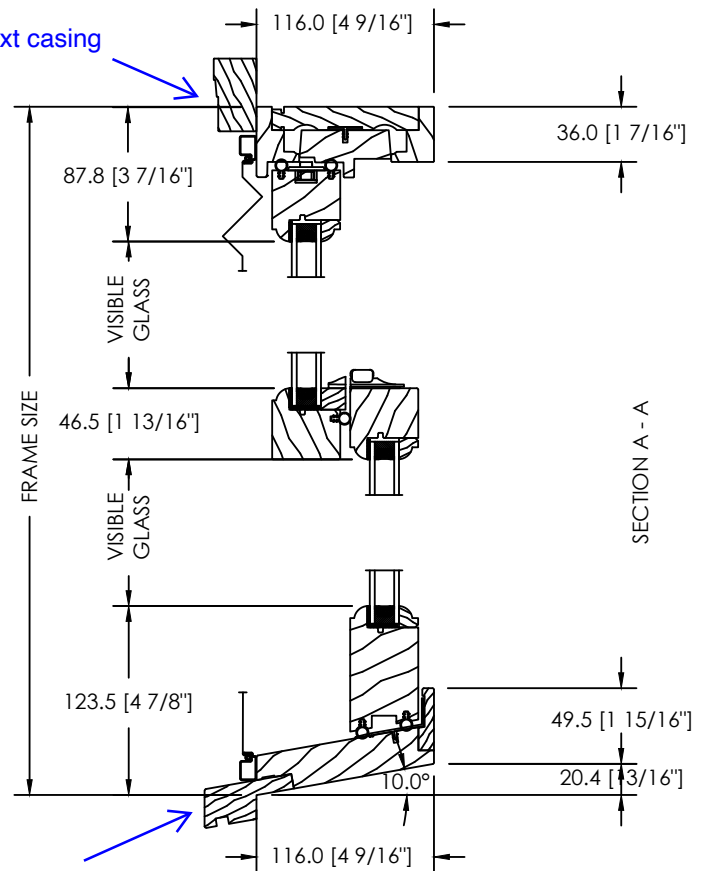


SECTION B - B

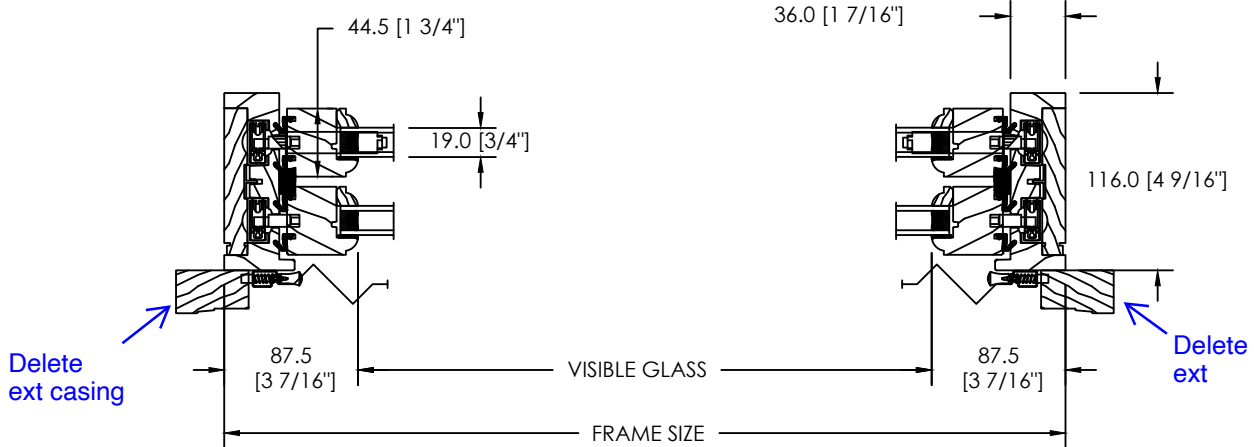
WOOD H-100 HUNG (1 3/4" SASH, 4 9/16" FRAME)



Delete ext casing

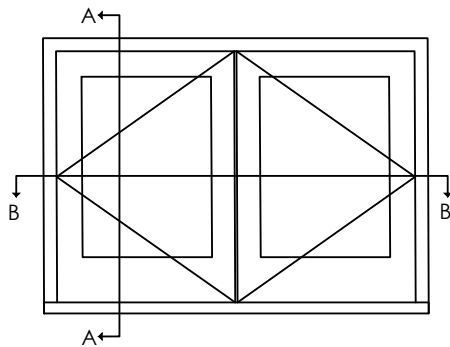


Delete sill nose extension



SECTION B - B

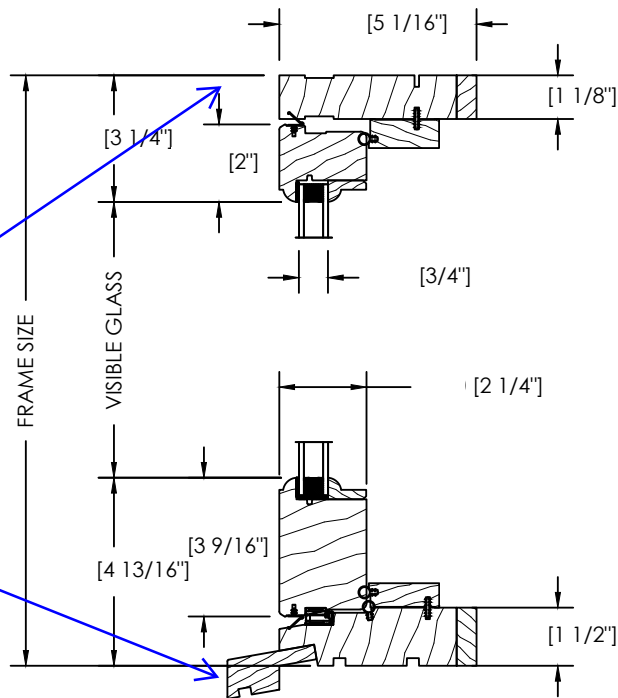
WOOD FRENCH PUSH OUT CASEMENT POC-100 WINDOW (2 1/4" SASH, 4 9/16" FRAME)



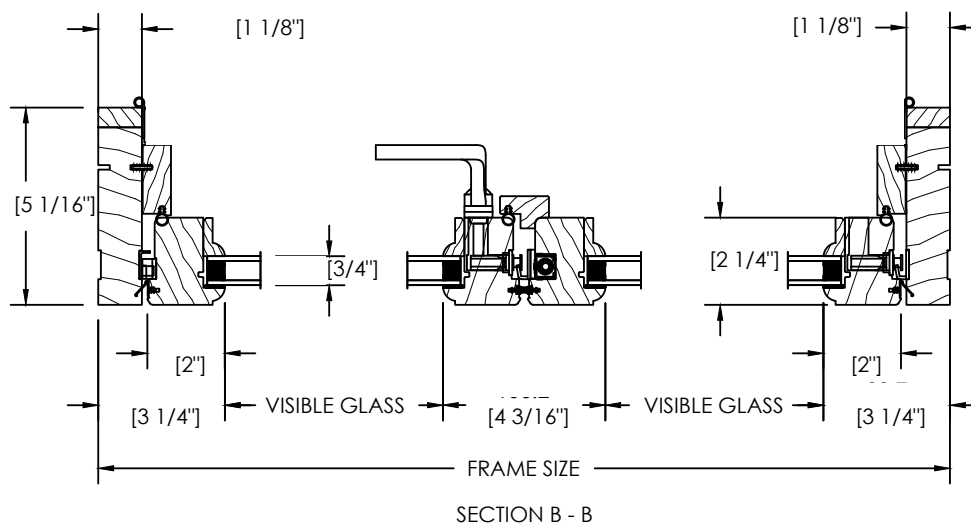
Push out french casements
With tall bottom rails in basement, as shown.
Attic level with narrow bottom rails.

Custom profile
exterior casing
head and sides.

3" tall sill nose
casing

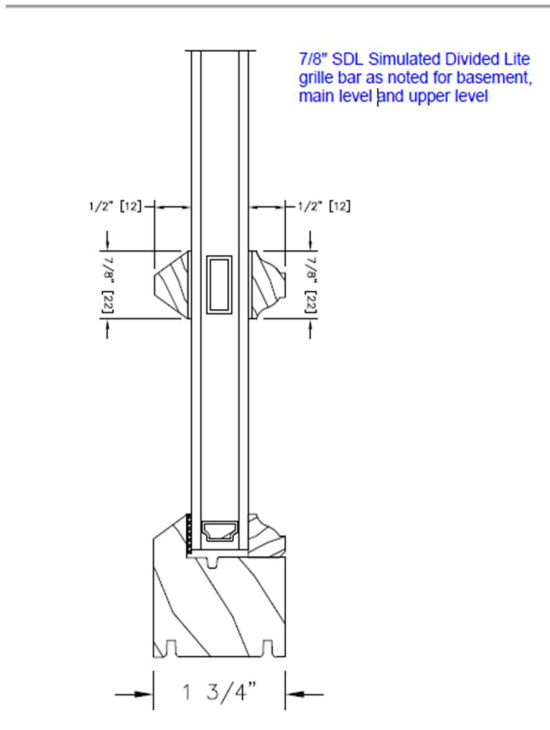


SECTION A - A

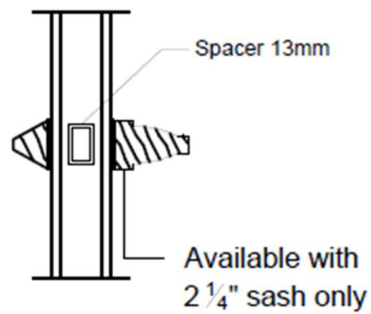


SECTION B - B

SDL Simulated Divided Lite 7/8" Bars at lower 3 floors



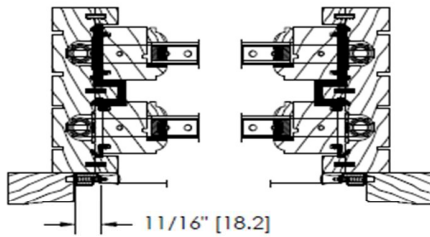
SDL grille bar profile for attic level French Push Out Casements



SDL 16mm [5/8"]
Putty glaze Ext / Hudson Int

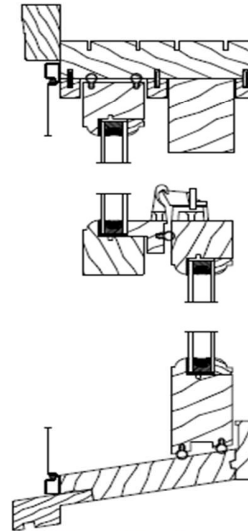
Screen options for Double hungs and French push-out casement

WOOD XL-100 HUNG SCREEN OPTIONS



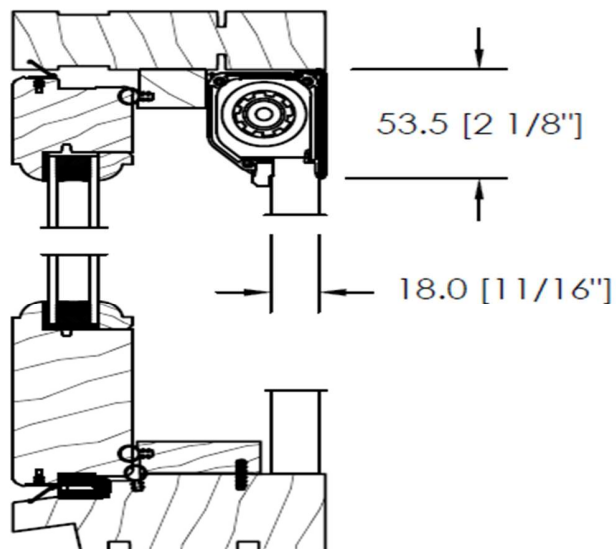
***IF 3" FLUSH EXTERIOR EXTENSION,
THE SCREEN DIMENSIONS WILL BE CHANGE***

STANDARD SCREEN

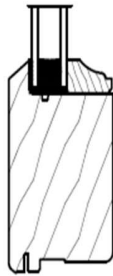


Hollow aluminum roll-formed
color matched frame, fiberglass mesh

Retractable screen on French casement

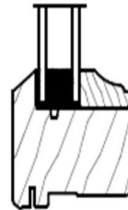


Wide bottom
rail for basement
level French
Push Out
Casments



PUTTY GLAZE SASH & DAVIS
GLASS STOP - WIDE BOTTOM RAIL

Narrow sash profile for Attic level
Push-out French Casements



PUTTY GLAZE SASH &
DAVIS GLASS STOP

**City of Charlottesville
Board of Architectural Review
Staff Report
June 17, 2025**



Certificate of Appropriateness Application

BAR # 24-0038

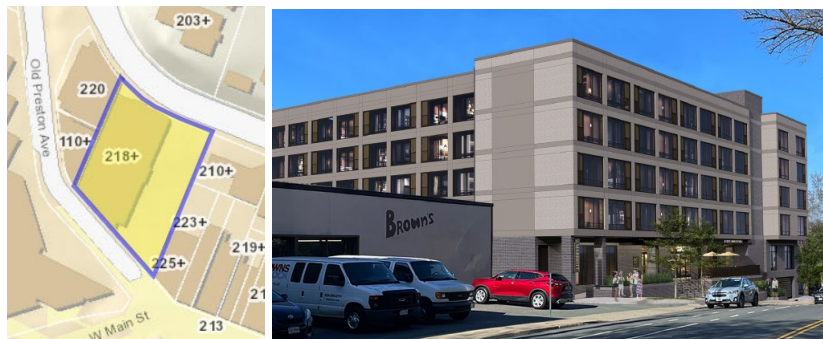
218 West Market Street, Tax Parcel 330276000

Downtown ADC District

Owner: Cavalier Hospitality LLC

Applicant: Bob Pineo, Design Develop

Project: New hotel



Background

Year Built: 1938 (former A&P). (May 20, 2025: BAR approved demolition CoA.)

District: Downtown ADC District

Status: Contributing

Prior BAR Reviews (See *Appendix* of November 19, 2024 staff report for complete summary.)

April 16, 2024 – BAR held a preliminary discussion for the proposed hotel project. Meeting notes in Appendix. Link to submittal and staff report: [218 W Market - BAR Prelim April 2024](#)

November 19, 2024 - BAR continued preliminary discussions for the proposed hotel. (Applicant's submittal was not deemed complete.) Meeting notes in Appendix. Link to submittal and staff report: [218 W Market - BAR Nov 2024](#)

February 26, 2025 – BAR held preliminary discussion for the proposed hotel after a change in design firm. Meeting notes in Appendix. Link to submittal and staff report: [218 W Market – BAR Feb 2025](#)

May 20, 2025 - Demolition: BAR approved demo CoA for existing structure. (Prior CoA expired.)

Hotel: Applicant deferred the CoA request to respond to board comments regarding specific design elements. Link to submittal and staff report: [218 W. Market – BAR May](#)

Link to the meeting video, discussion begins at approx. 03:30:00: [BAR May 20 2025 Meeting Video](#)

Application

- Applicant submittal: Design Develop drawings *A.C. Hotel by Marriott – Addendum, 218 West Market Street, Charlottesville, VA* dated June 3, 2025, 35 sheets, and renderings dated June 3, 2025, 20 sheets.

Request CoA for a multi-story hotel: Six stories facing Old Preston Avenue; five stories facing West Market Street. (Maximum height allowed under DX zoning is 10 stories, 142-ft.)

Note: The previously approved SUP for a proposed residential use is not being applied to this project.

Note: All signage requires a separate sign permit. Any signage represented on the renderings and elevations is for context only, and specifically omitted from this CoA request.

Discussion

The BAR has had several discussions regarding the proposed building—see the BAR meeting notes in the Appendix.

Based on the design guidelines for new construction, staff suggests the height, massing, and scale are appropriate for this site and the ADC District. The prevailing height in the surrounding sub-areas ranges between two and three stories. The proposed building's five to six stories are within 200% of that prevailing range. Along Old Preston Avenue, the proposed building's upper stories step back at approximately 35-ft. This is within 130% of the approximately 30-ft prevailing street front height of nearby buildings on the Mall.

The north and south elevations create a *well-defined street wall*, and the street level design reflects the traditional storefronts nearby. Consistent with the guidelines, the building *fills in holes in a larger block of buildings in the Downtown Mall* and, with a *limited setback*, it *attaches to or is very close to neighboring structures*.

Following the May 20, 2025 BAR meeting, at the BAR's request staff shared with the applicant the following list of comments. (Staff email to applicant, May 29, 2025.) The list does not represent every question or comment raised. The applicant was encouraged to also review the meeting video to review all of the BAR's questions and comments.

Materials

- Provide a spec for the thin brick system. Will it have TABS II Rain Screen or something equivalent behind this system?
- Provide a spec for the stucco. Don't need a CSI Masterpiece, provide description the various components/systems.
- Stucco reveals: Show detail, width, depth. Are they just reveals in the stucco, metal joints, something else?
- Provide typical window head/jamb/sill details and entire wall sections. Primarily, confirm the level of depth in the façade. (Not necessary to show technical details of the wall construction.)
- Indicate location of control joints and detail. For ex., are they ½" sealant joints colored to match the stucco and brick. Are they metal? Are they more substantial?
- Rooftop mechanical equipment screen: use material more permanent than PTP.
- Replace *Schizachyrium scoparium* 'Standing Ovation' (which likes full sun) with a shade tolerant plant palette.

Design

- Reduce the height of the retaining wall(s).
- Add pedestrian lighting. For ex, BAR mentioned stair lights.

- Design does not adequately address the issue of pedestrian entry to the building from the Old Preston Ave. Lack of accessibility from the Mall and the lack of potential circulation through the block from Preston to Market.
- Upper portion of the building is not consistent with the Design Guidelines: Consider a materiality other than a stucco derivative; something more in keeping with the Historic District and a more appropriate precedent for the urban realm. If stucco is used, in lieu of a standardized brand design for the building, consider revising it to better respond to the unique identity of the Downtown ADC District.

Staff recommends the BAR take action to either approve or deny the requested CoA or, if additional information is necessary, recommend the applicant request a deferral and provide the applicant with specific recommendations on the modifications and/or additional information necessary for the BAR to take a formal action.

Note: The applicant has not submitted an application for a development plan, or a site plan related to this proposal. The applicant should be aware that approval of a CoA will not preempt or supersede any requirements of the City' Code of Development. Additionally, significant alterations necessary for approval of the development plan and/or a site plan, including special exception, etc., may require resubmittal for formal BAR review. (See note below under *Criteria, Standards and Guidelines*.)

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed hotel at 218 West Market Street satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the application [as submitted].

Or, [as submitted with the following conditions...]

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed hotel at 218 West Market Street does not satisfy the BAR's criteria and is not compatible with this property and other properties in this ADC District, and that for the following reasons the BAR denies the application: ...

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA "cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements."

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.

- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations:
 - i. Along the Downtown Mall, the BAR may limit story height to within 2 stories of the prevailing story height of the block;
 - ii. In all other areas subject to review, the BAR may reduce the allowed height by no more than 2 stories; and
 - iii. The BAR may require upper story setbacks of up to 25'.

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City's design guidelines.

Links to ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

[Chapter 4 Rehabilitation](#)

[Chapter 5 Signs, Awnings, Vending, and Cafes](#)

[Chapter 6 Public Improvements](#)

From ADC District Design Guidelines, Chapter 1: Downtown ADC District

Charlottesville's traditional, late 19th-century commercial core centered on Main Street, originally the Three Notched Road. Seven blocks now comprise a pedestrian mall designed by Lawrence Halprin in

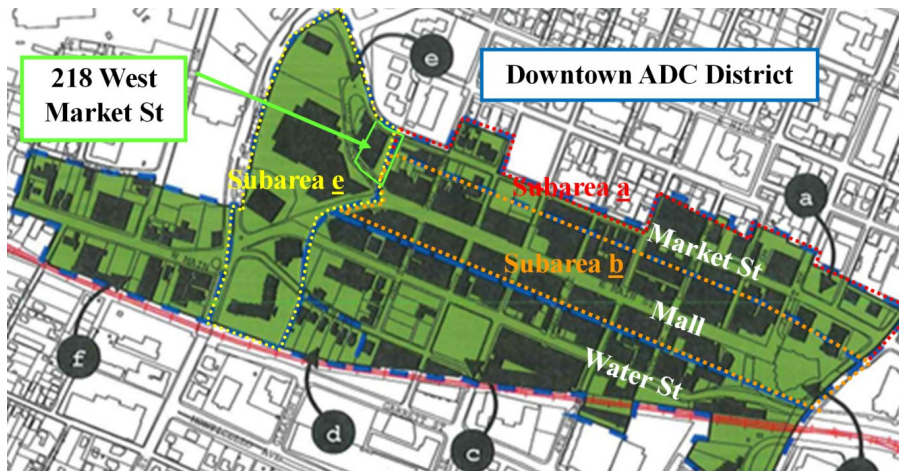
1971. To the west, “Vinegar Hill” was an area of African-American commercial, civic, and residential buildings razed in a 1964 urban renewal project. 333 West Main, formerly Inge’s Grocery, and Jefferson School are surviving structures. To the south, Water Street contained railroad-oriented warehouses and industrial buildings.

The project site straddles three of the ADC District’s subareas:

Subarea a - Market Street: some turn-of-the-century residences with shallow setbacks converted to commercial uses, parking lots, late-nineteenth to mid-twentieth century commercial with no setback, vertical expression, 2 to 3 stories.

Subarea b - Mall: traditional Main Street, attached buildings, 2 to 4 stories with some larger buildings, masonry, no setbacks, traditional three-part facades: storefront, upper stories with windows, and cornice, tall proportions, flat or shed roofs, many mall amenities, tree canopies, outdoor eating, lively pedestrian atmosphere.

Subarea e - Vinegar Hill: eclectic area with remnants of traditional neighborhood patterns and a rich African-American cultural history; generally, a mix of medium scaled institutional and commercial buildings with intermittent residential structures; open lots and topographic change create a unique transitional urban fabric and opportunity for mixed uses.



From Chapter 3 of the ADC District Design Guidelines:

A. Introduction: Building Types within the Historic Districts

- Traditional commercial infill buildings are the forms that fill in holes in a larger block of buildings in the downtown mall or in certain areas of the West Main Street corridor. This type of building generally has a limited setback, attaches to or is very close to neighboring structures, and takes many of its design cues from the adjoining buildings. Its typical lot width would be 25 to 40 feet.

B. Setback

- Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.
- Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.
- Modify setback as necessary for sub-areas that do not have well-defined street walls.
- Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.

C. Spacing

- Commercial and office buildings in the areas that have a well-defined street wall should have minimal spacing between them.

D. Massing & Footprint

- New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.

E. Height & Width

- Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.
- Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.
- In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. [...] Additional stories should be stepped back so that the additional height is not readily visible from the street.
- When the primary façade of a new building in a commercial area, such as downtown [...] is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.
- Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.

Staff Note: the BAR's purview when evaluating the height of a proposed structure:

- Per Code Sec. 34-2.10.9.A.3.ii. "In Downtown Mixed Use (DX), where the BAR has authority, the maximum height is determined based on BAR review using their design guidelines. In areas outside of BAR authority, the maximum height is determined by the maximum number of stories and feet allowed by the zoning district."

- Per Code Sec. 34-5.2.7.B.2.c. In approving a CoA, the BAR may apply conditions that “require a reduction in height or massing, consistent with the City’s design guidelines and subject to the following limitations:
 - i. Along the Downtown Mall, the BAR may limit story height to within 2 stories of the prevailing story height of the block;
 - ii. In all other areas subject to review, the BAR may reduce the allowed height by no more than 2 stories; and
 - iii. The BAR may require upper story stepbacks of up to 25’.

I. Windows and Doors

- Glass shall be clear. Opaque spandrel glass or translucent glass may be approved by the BAR for specific applications. [Note: Refer to the BAR’s 2018 guidance re: clear glass.]

K. Street-Level Design

- Street level facades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.
- When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the sub-area. New structures do offer the opportunity for more contemporary storefront designs.
- Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.
- Include doors in all storefronts to reinforce street level vitality.

M. Materials & Textures:

- The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.
- In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.
- In commercial/office areas, brick is generally the most appropriate material for new structures. “Thin set” brick is not permitted. Stone is more commonly used for site walls than buildings.
- Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.
- Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.
- The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.
- All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.

O. Details and Decoration

- Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.
- The mass of larger buildings may be reduced using articulated design details.
- Pedestrian scale may be reinforced with details.

Appendix

BAR Meeting Minutes April 16, 2024 – Excerpts 218 West Market

CoA – Preliminary Discussion, 218 West Market Street, new hotel

- Staff introduced the proposed project to the BAR for feedback and suggestions from the BAR. Project has changed from a residential use to a hotel. Prior project had an approved SUP, which will not be applied for the proposed hotel.
- Mr. Whitney had a question about the outdoor amenity space for the proposed project.
- Applicant replied that amenity space on the 3rd floor will be for the guests at the hotel. The amount of amenity space will far exceed the amount of public amenity space that is required.
- There was discussion and feedback surrounding the streetscape and the street trees on the site.
- Mr. Gastinger found it difficult to review the proposal with the surrounding and existing buildings context not provided in the applicant's submittal.
- Ms. Lewis reminded the applicant that the purview of the BAR is only on the exterior appearance of the building, not on the interior programming.
- Ms. Lewis reminded applicant of the associated conditions of the SUP approval by the Planning Commission in 2019.
- Mr. Schwarz noted the guidelines recommend durable, long-lasting materials, especially near the ground.
- The walk through from Old Preston and Market Street is much easier if it is a hotel versus a residential building according to the applicant.
- Mr. Gastinger suggested applicant to review the guidelines re: verticality and context. Asked about the parking and the potential of the building sitting on top of two stories of parking. Applicant replied the first story parking will be concealed, rest of building will be pulled back.
- Ms. Lewis recommended the applicant reach out to the other members of the BAR not present for the preliminary discussion.
- Several members noted the prominence of the site and will be visible from multiple points.

BAR Meeting Minutes November 19, 2024 – Excerpts 218 West Market

CoA – Preliminary Discussion: 218 West Market Street, Multi-story hotel

- Staff reviewed proposed project; goal is to get input, feedback, and questions from the BAR.
- There are a significant number of trees on the site that will be removed as part of this project.
- A connection to The Mall that was discussed in the April 2024 Preliminary Discussion.
- The demolition CoA for this property is still valid.
- Came before the BAR in April 2024 for a preliminary discussion.
- There has been a change in the architect since the April 2024 preliminary discussion.
- The proposed project will be 5 stories on Market Street and 6 stories on Old Preston Avenue.
- There are also some other zoning issues to be resolved with this project.
- There have been several iterations of this project over the past years.
- The new applicant team presented the changes that they are proposing with the new revisions and changes for this project.
- The applicant intent is to break up the facade so as not to read as one large wall. The intent is for the height to be more contextual and be more modest than the neighboring buildings (CODE Building and Omni).
- There will be a pedestrian path through the building that will connect West Market and Old Preston Ave.
- The entrance for the parking garage for the site will be on Market Street and will descend to the garage under the building.

- The ground floor on The Downtown Mall side would be retail and the ground floor on the other side would be the lobby of the hotel.
- The BAR did provide suggestions and feedback regarding this project for the applicant to include in the CoA application.
- There was appreciation from Mr. Gastinger in addressing the parking on the site.
- Mr. Gastinger does not believe that the building articulation fits in with Charlottesville and did not feel right. The building does not reflect The Mall. Felt that the materiality was off. There are some opportunities to improve the building.
- Mr. Timmerman expressed disappointment with the design of the building and how it works with the design guidelines. Hoped the design would reflect how special the site is being next to the Downtown Mall and being an extension of the Downtown Mall.
- Mr. Schwarz did speak about the pedestrian experience on the Market Street side of the building and the height of the building.
- Mr. Zehmer and Ms. Lewis summarized emails sent to the BAR, which had suggestions, criticism, and feedback for this project.
- The director of Lighthouse Studio (Deanna Gould) commented: The main concerns were safety, operational concerns, and eventually financial concerns.
- Staff said signage shown would not be allowed. A separate sign permit would be required.
- Plan did not address the landscaping plan and the screening of the rooftop equipment.
- Mr. Zehmer raised importance of showing lighting in the formal CoA application when it is submitted.
- Mr. Rosenthal and Ms. Tabony raised importance of having an entrance on the Downtown Mall to get up to the lobby.

BAR Meeting Minutes February 26, 2025 – Excerpts 218 West Market

CoA – Preliminary Discussion: 218 West Market Street, Multi-story hotel

- Project has previously come before the BAR for recommendations/comments.
- BAR has expressed a need for something more ornamental.
- Applicant noted proposed material is EIFS.
- Staff noted signage would require separate sign permits.
- Site and project will serve as a case study for mass, density, and urban integration given the current zoning.
- The purpose of the presentation by the applicant is to obtain feedback on the issues that were raised from the last BAR meeting and explain the show the design's development.
- The intent of this project is to get *back of house* hotel operations in west side of the building and have pedestrian experience on the Downtown Mall and Market Street side.
- There will be street trees on the Market Street side and Old Preston Street side of the site.
- Applicant provided aerial views of the proposed hotel with the context of the Omni Hotel next to the proposed hotel; multiple viewpoints of the proposed project from the Omni Hotel, from Old Preston, West Market Street, and the Downtown Mall; and different elevations and massing as seen from the Omni Hotel, Old Preston, West Market Street, and the Downtown Mall.
- Hotel rooms will start above the 2nd floor with the restaurant/commercial space on the first floor.
- Consensus among BAR regarding ceremonial stair on the Old Preston Street side and that the pedestrian experience on all sides of the proposed hotel have improved with this latest proposal.
- General agreement regarding use of EIFS and the amount of EIFS being used.

AC HOTEL by MARRIOTT - ADDENDUM

218 West Market Street, Charlottesville, VA

06.03.2025



A DEVELOPMENT BY
TITAN MANAGEMENT



TABLE OF CONTENTS - ADDENDUM

I. REVISIONS

| | |
|-------------------|---|
| LIST OF REVISIONS | 4 |
|-------------------|---|

II. REFINED FACADES

| | |
|--------------|---|
| EAST FACADE | 6 |
| NORTH FACADE | 7 |
| SOUTH FACADE | 8 |
| WEST FACADE | 9 |

III. UPDATED PEDESTRIAN PERSPECTIVES

| | |
|--------------------------|-------|
| MARKET STREET ENTRANCE | 11-13 |
| OLD PRESTON AVE ENTRANCE | 14-16 |

IV. UPDATED LANDSCAPE PLANS

| | |
|------------------------|-------|
| UPDATED SITE PLAN | 18-19 |
| UPDATED LANDSCAPE INFO | 20-21 |

V. NEW PRODUCT INFORMATION

| | |
|----------------------------|-------|
| HIDEAWAY PRIVACY PLANTER | 23-24 |
| GLEN GARY THIN BRICK | 25-27 |
| TABS WALL SYSTEM - TABS II | 28-29 |
| STOPOWERWALL DRAINSscreen | 30-34 |
| ROOF SCREEN | 35 |



I. REVISIONS



REVISIONS

1. REFINING THE FACADE

WINDOWS ON ALL FOUR SIDES OF THE BUILDING ARE ARRANGED IN A DELIBERATE A-B-A-B RHYTHM, CREATING A CONSISTENT AND BALANCED PATTERN THAT REINFORCES THE COHERENCE OF EACH FACADE. THIS RHYTHM IS MAINTAINED ACROSS THE ELEVATIONS WITH MINIMAL INTERRUPTION.

2. PEDESTRIAN ENTRANCE ON OLD PRESTON AVE - PRIORITIZING THE PUBLIC REALM

OLD PRESTON AVENUE EXTENDS THE DOWNTOWN MALL'S COMMERCIAL CHARACTER, PRIORITIZING THE PUBLIC REALM OVER MORE PRIVATE HOTEL USE. RETAIL, THE POCKET PARK, AND THE RESTAURANT ABOVE ACTIVATE THE PEDESTRIAN EDGE, WHILE THE STAIR CONNECTS HOTEL GUESTS WITHOUT DOMINATING THE FRONTAGE.

THE HOTEL ENTRANCE WAS GENTLY PULLED FORWARD TO GIVE IT GREATER PRESENCE AND A MORE INVITING CHARACTER, WHILE REMAINING UNDERSTATED AND UNOBTRUSIVE. A BREAK IN THE STOREFRONTS DISTINGUISHES IT FROM THE ADJACENT RETAIL, SUBTLY MARKING THE TRANSITION WITHOUT DISRUPTING THE OVERALL RHYTHM OF THE STREET.

3. PEDESTRIAN ENTRANCE ON MARKET STREET

THE TALL BRICK WALL ALONG MARKET STREET HAS BEEN LOWERED AND BROKEN UP WITH PLANTERS AND PRIVACY SCREENS, CREATING A MORE INVITING EDGE AND PULLING THE PUBLIC PATIO BACK UNDER THE CANOPY. THE SAME PRIVACY SCREEN IS USED ON THE OLD PRESTON AVE SIDE TO SUBTLY DEFINE AND SCREEN THE PRIVATE HOTEL PATIO.

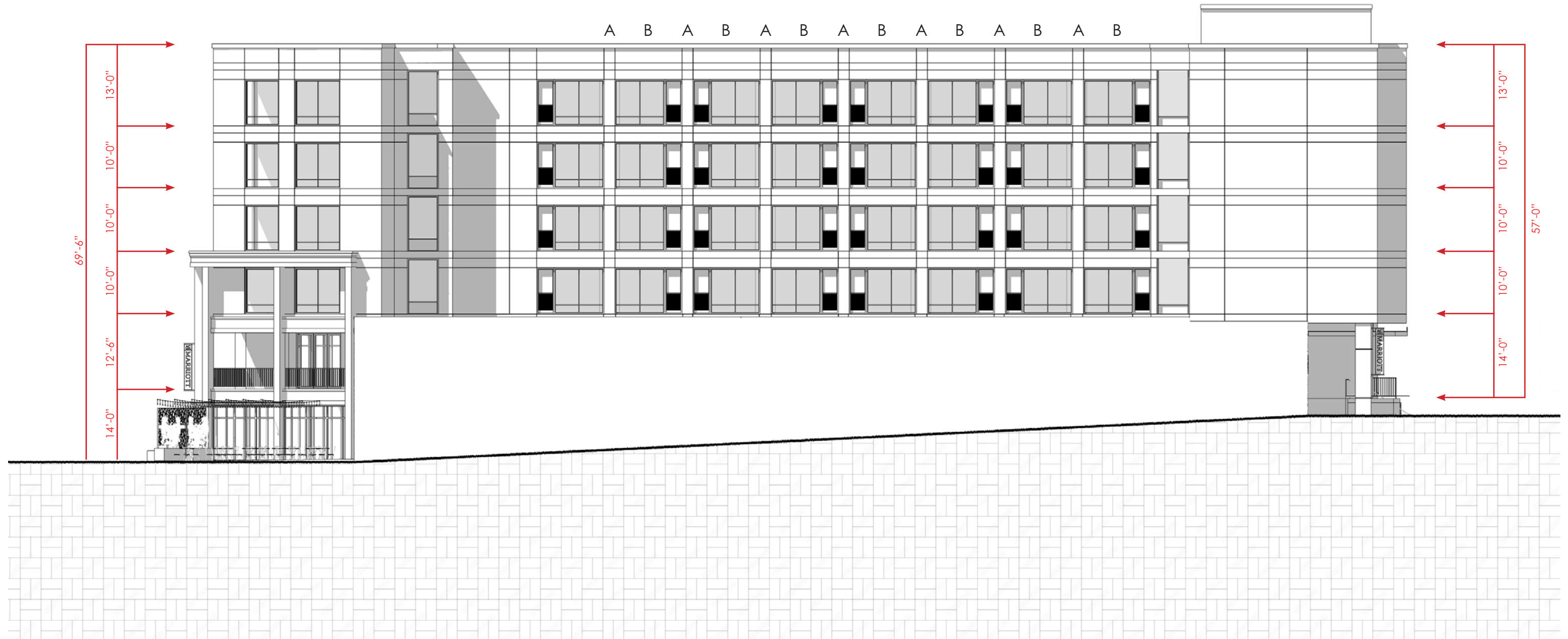
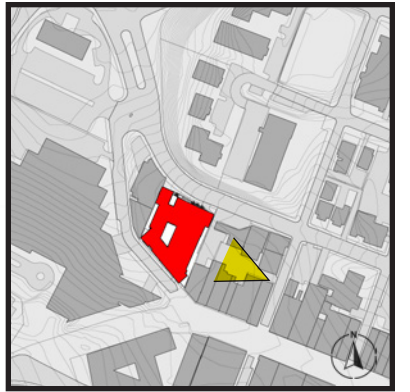
ADDITIONAL ACCENT LIGHTING BY THE ENTRANCE WILL BE FINALIZED AS DESIGN PROGRESSES AND EFFECTS ON PHOTOMETRICS CAN BE STUDIED IN DETAIL.

4. LANDSCAPE

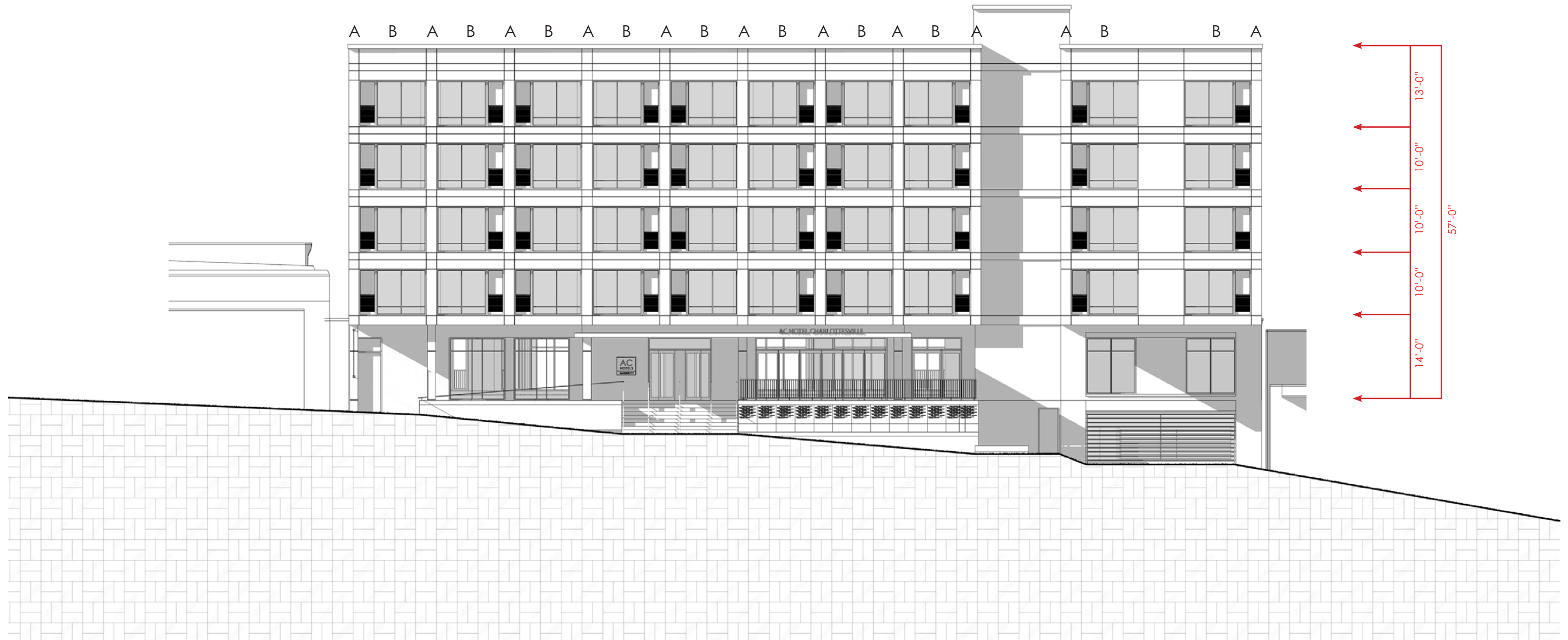
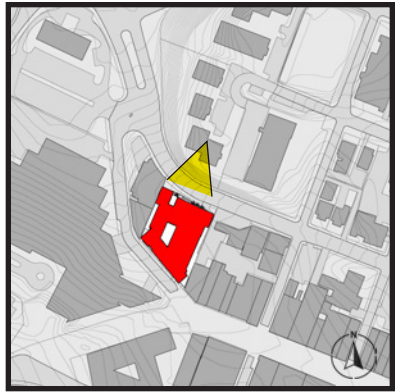
TWO TREES HAVE BEEN ADDED ON W. MARKET STREET TO SATISFY STREET TREE REQUIREMENTS. PLANTERS ALONG MARKET STREET WILL BE SEASONALLY PLANTED AND MAINTAINED BY THE OWNERS.

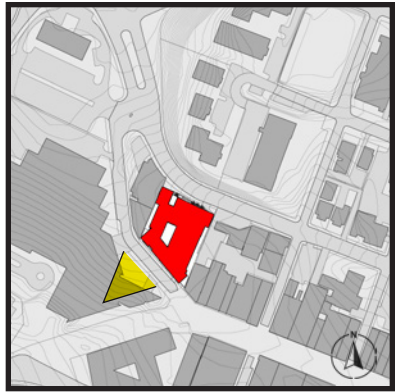
ADDITIONAL ACCENT LIGHTING WILL BE FINALIZED AS THE DESIGN PROGRESSES.

II. REFINED FACADES



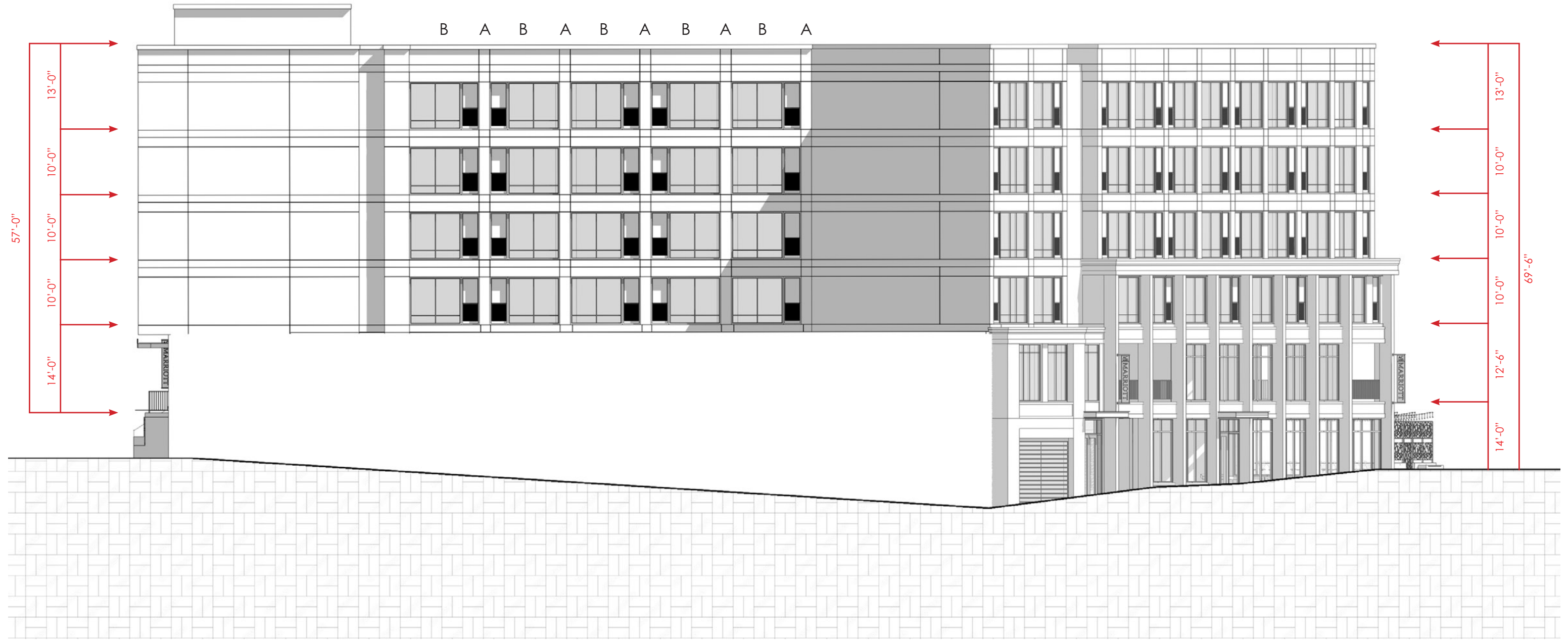
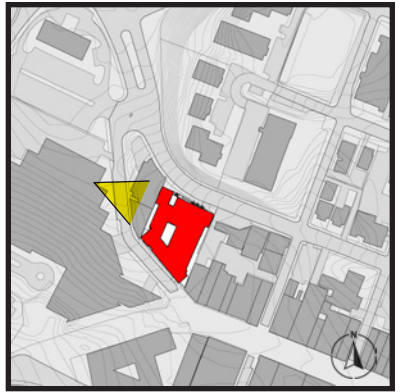
EAST ELEVATION
218 WEST MARKET STREET





SOUTH ELEVATION - OLD PRESTON AVE
218 WEST MARKET STREET





WEST ELEVATION
218 WEST MARKET STREET



III. UPDATED PEDESTRIAN PERSPECTIVES







MARKET STREET ENTRANCE
218 WEST MARKET STREET



OLD PRESTON AVE ENTRANCE
218 WEST MARKET STREET

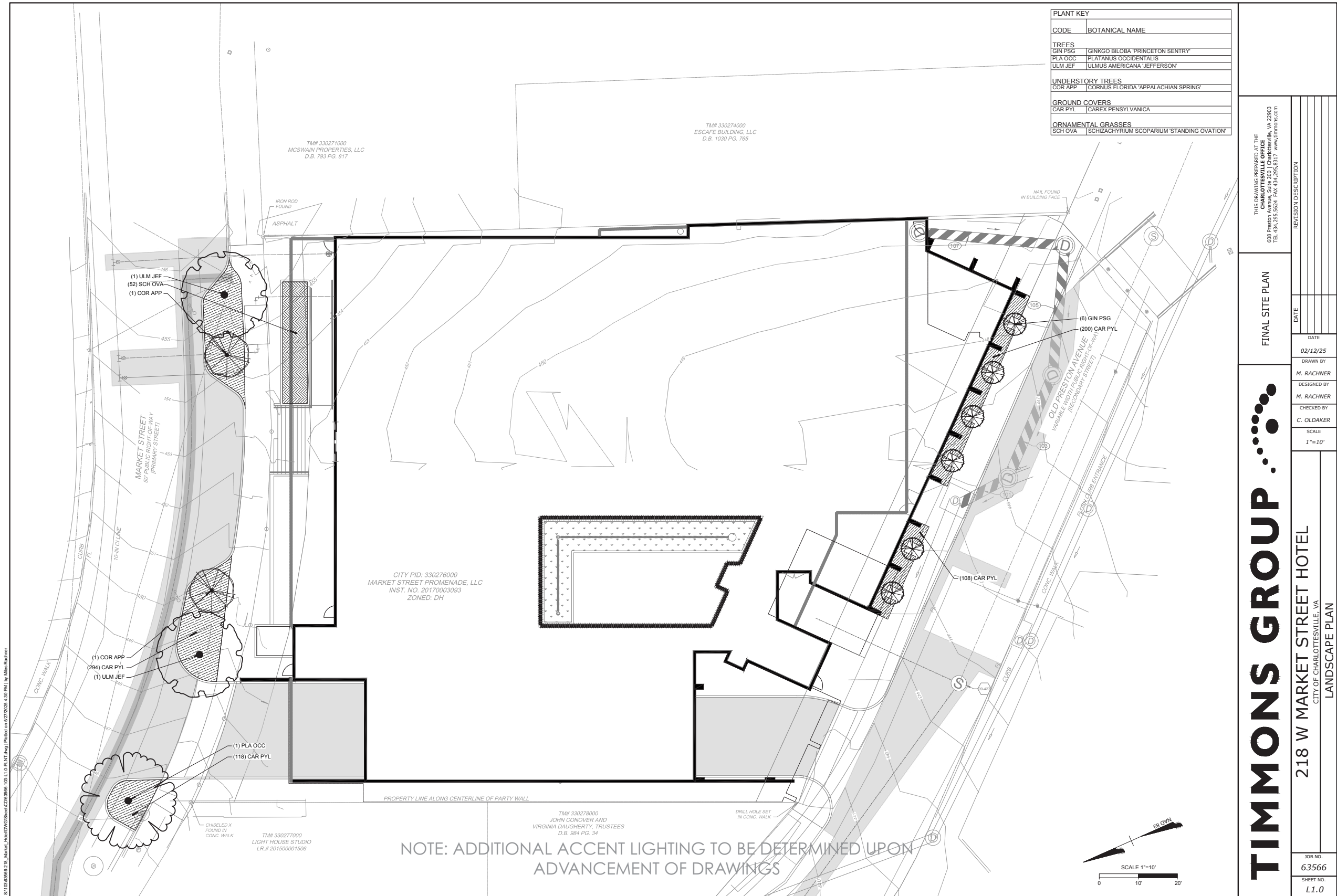


OLD PRESTON AVE ENTRANCE
218 WEST MARKET STREET



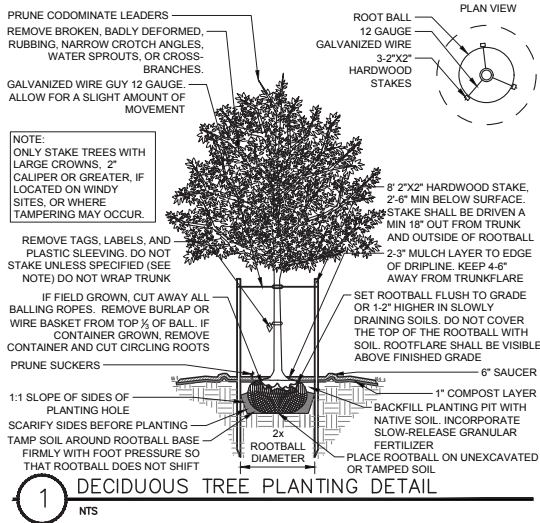
OLD PRESTON AVE ENTRANCE
218 WEST MARKET STREET

IV. UPDATED LANDSCAPE PLANS



UPDATED SITE PLAN
218 WEST MARKET STREET

S:\11081866-218_Market_Hotel\DWG\Site\218W_MKT_411_Plan.dwg (Revised on 02/12/25 4:11 PM) by Mike Rachner



| PLANT SCHEDULE | | | | | | | |
|--------------------|-------|--|----------------------------------|---------------------|------------------|----------|---------------|
| CODE | QTY | BOTANICAL NAME | COMMON NAME | MIN. INSTALLED SIZE | ROOT | CANOPY | CANOPY TOTALS |
| TREES | | | | | | | |
| GIN PSG | 6 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR TREE | 2" CAL. | B&B OR CONTAINER | 100SF | 600SF |
| PLA OCC | 1 | PLATANUS OCCIDENTALIS | AMERICAN SYCAMORE | 2.5" CAL. | B&B | 800SF | 800SF |
| ULM JEF | 2 | ULMUS AMERICANA 'JEFFERSON' | JEFFERSON AMERICAN ELM | 2.5" CAL. | B&B | 700SF | 1,400SF |
| UNDERSTORY TREES | | | | | | | |
| COR APP | 2 | CORNUS FLORIDA 'APPALACHIAN SPRING' | APPALACHIAN SPRING DOGWOOD | 6" HT. | B&B OR CONTAINER | 200SF | 400SF |
| CODE | QTY | BOTANICAL NAME | COMMON NAME | MIN. INSTALLED SIZE | ROOT | SPACING | |
| GROUND COVERS | | | | | | | |
| CAR PYL | 1,001 | CAREX PENSYLVANICA | PENNSYLVANIA SEDGE | 1 GAL. | CONTAINER | 12" o.c. | |
| ORNAMENTAL GRASSES | | | | | | | |
| SCH OVA | 52 | SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' | STANDING OVATION LITTLE BLUESTEM | 3 GAL. | CONTAINER | 24" o.c. | = 3,200SF |

TREE COVER CALCULATIONS

* per Sec. 34-869 of the City of Charlottesville Ordinance.

| SITE AREA | REQUIREMENT | CALCULATION | REQUIRED QUANTITY | PROVIDED QUANTITY |
|--|-------------|------------------------------|-------------------|-------------------|
| .56 AC (GROSS SITE AREA) OR 25,721 SF | 10% COVER | 25,721 SF x .10 = 2,572.1 SF | 2,573 SF | 3,200SF |

STREET TREE REQUIREMENTS

* per Sec. 34-870 of the City of Charlottesville Ordinance.

| STREET | LENGTH | REQUIREMENTS | CALCULATIONS | REQUIRED | PROVIDED |
|-----------------|--------|---------------------|-----------------|------------|----------------------------|
| MARKET STREET | 148 LF | 1 LG TREE PER 40 LF | (148/40) = 3.7 | 4 LG TREES | 3 LG TREES + 2 SM TREES |
| OLD PRESTON AVE | 167 LF | 1 LG TREE PER 40 LF | (167/40) = 4.18 | 5 LG TREES | 6 TREES |

GENERAL NOTES

PRE-CONSTRUCTION

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" AT 1.800.552.7001 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE LANDSCAPE ARCHITECT.
- TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
- SOIL TESTS SHALL BE PERFORMED TO DETERMINE SOIL CHARACTER AND QUALITY. NECESSARY SOIL AMENDMENTS SHALL BE PERFORMED PER TEST RESULTS TO ENSURE PLANT HEALTH.

CONSTRUCTION/INSTALLATION

- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

TIMMONS GROUP

218 W MARKET STREET HOTEL
CITY OF CHARLOTTESVILLE, VA

LANDSCAPE NOTES AND DETAILS

THIS DRAWING PREPARED AT THE
CHARLOTTESVILLE OFFICE
668 Prater Road, Charlottesville, VA 22903
TEL 434.295.5624 FAX 434.295.6337 www.timmons.com

FINAL SITE PLAN

REVISION DESCRIPTION

DATE

DATE
02/12/25

DRAWN BY

M. RACHNER

DESIGNED BY

M. RACHNER

CHECKED BY

C. OLDAKER

SCALE

N/A

JOB NO.

63566

SHEET NO.

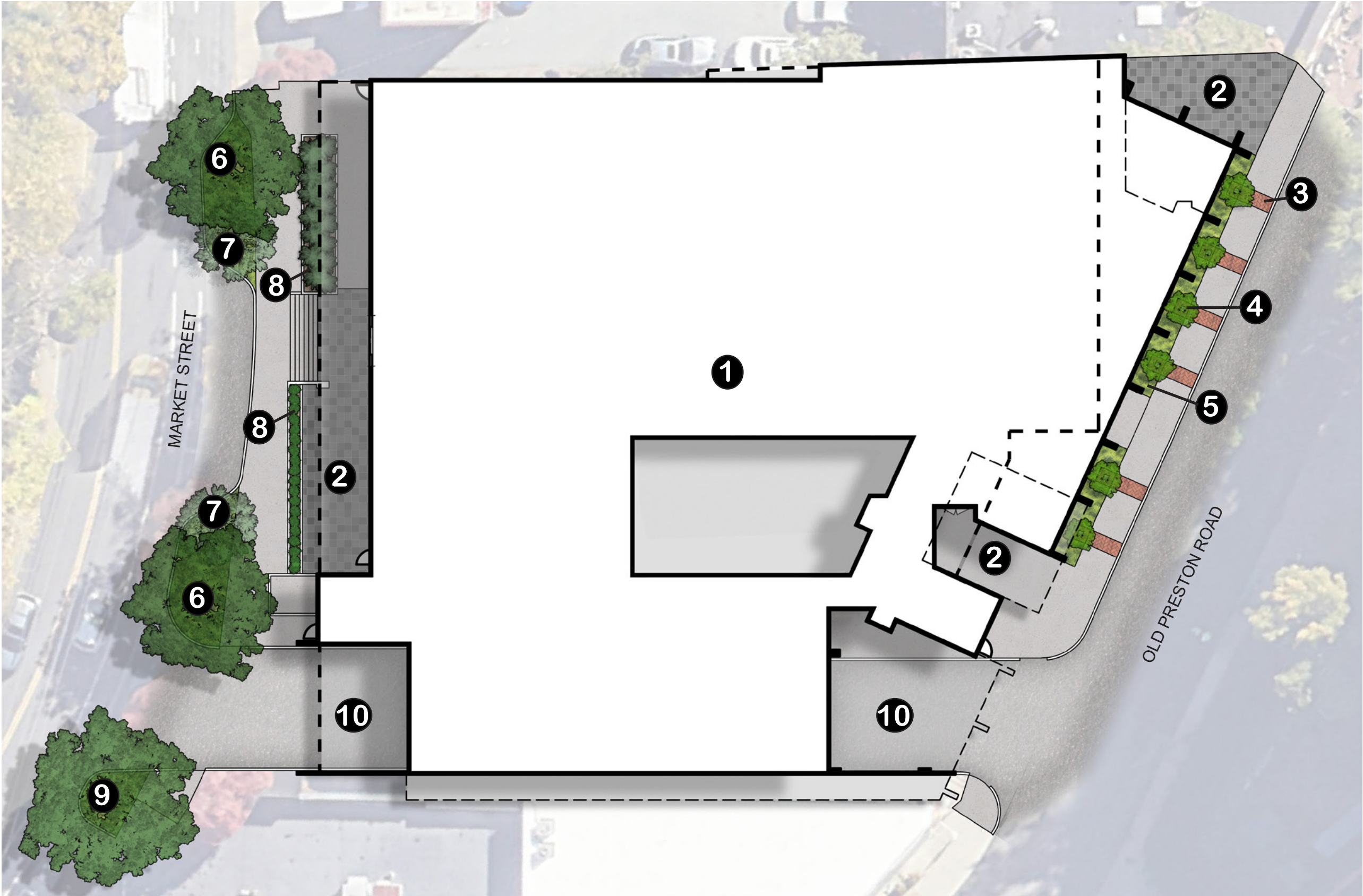
L2.0

THIS DRAWING IS THE PROPERTY OF TIMMONS GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING IS PERMITTED WITHOUT THE WRITTEN CONSENT OF TIMMONS GROUP.

PROPOSED FEATURES:

- 1. AC MARRIOTT HOTEL
- 2. AMENITY SPACE
- 3. BRICK ACCENT PAVING OR METAL GRATING
- 4. GINKGO BILOBA 'PRINCETON SENTRY'
- 5. CAREX PENSYLVANICA PLANTING BED
- 6. ULMUS AMERICANA 'JEFFERSON'
- 7. CORNUS FLORIDA APPALACHIAN SPRING'
- 8. PLANTERS *
- 9. PLATANUS OCCIDENTALIS
- 10. BELOW GRADE PARKING GARAGE

* The planters will be seasonally and decoratively planted by the owner. A randomized mix of species will be used to reflect seasonal changes. Plant selections will include perennials, grasses, and vines.



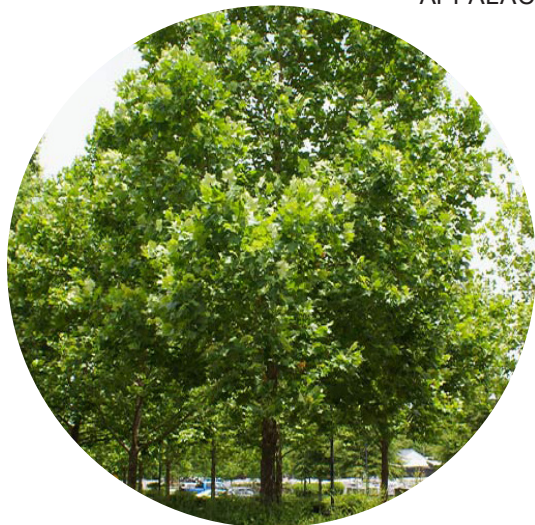
CONCEPT LAYOUT PLAN
218 WEST MARKET STREET



ULMUS AMERICANA
'JEFFERSON'



CORNUS FLORIDA
'APPALACHIAN SPRING'



PLATANUS OCCIDENTALIS



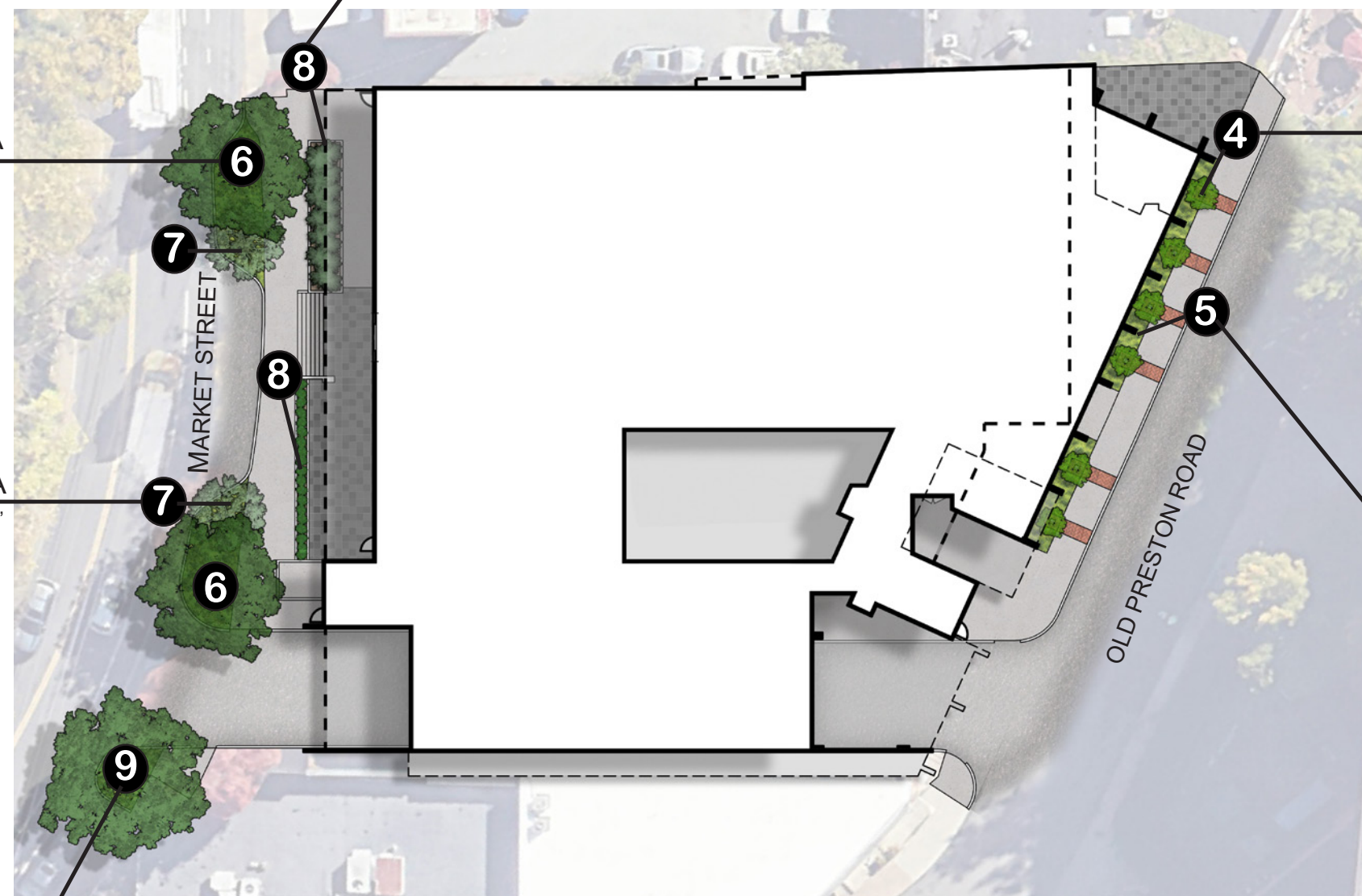
PLANTERS
SEASONAL



GINKGO BILOBA
'PRINCETON SENTRY'



CAREX PENNSYLVANICA
PLANTING BED



PROPOSED PLANTINGS:

4. GINKGO BILOBA 'PRINCETON SENTRY'

5. CAREX PENNSYLVANICA PLANTING BED

6. ULMUS AMERICANA 'JEFFERSON'

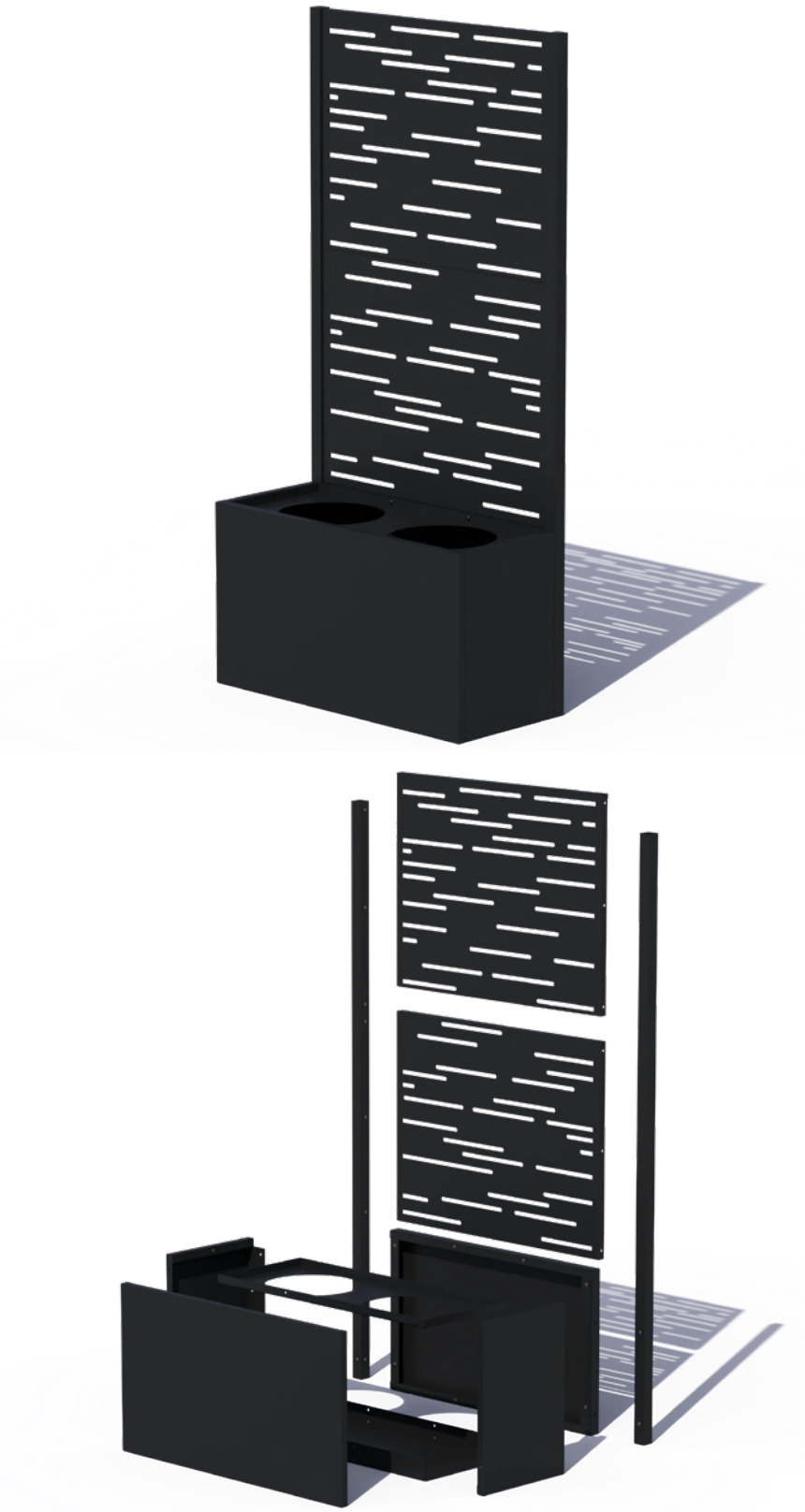
7. CORNUS FLORIDA 'APPALACHIAN SPRING'

8. PLANTERS

9. PLATANUS OCCIDENTALIS

CONCEPT PLANTING PLAN 218 WEST MARKET STREET

V. NEW PRODUCT INFORMATION



Privacy Planter (Dash)

897.00 USD

Elevate your backyard with our privacy planters. HIDEAWAY's modular design makes creating your private retreat easy and enjoyable.

Dimensions

- Screen Size: 36" W x 52" H
- Planter Size: 36" W x 20" H x 16" D
- Total Weight: 50-55 lbs.

Please Note: Using a tray is optional. The privacy planters can accommodate flower pots that are 12 inches in size.

Whats Included

- 1 Standard Privacy Screen
- 1 Rectangle Planter

Core Features

- Easy Assembly
- Industrial Grade Aluminum
- UV Protection
- Rust-Free
- Weatherproof

HIDEAWAY SCREEN - PRIVACY PLANTERS

HIDEAWAY

HIDEAWAY

INTRODUCTION

In this manual, we will show you how to assemble the Hideaway Planters. Both our planters and privacy planters are assembled in the same fashion.



PLANTER
(STEPS 1 - 4)



PRIVACY
PLANTER
(STEPS 1 - 6)



WARNING

Some steps might require the assistance of two people.

PARTS & TOOLS CHECK LIST

The following Parts are included with your assembly. The following Tools are recommended for this assembly.

PARTS LIST

INCLUDED HARDWARE

RECOMMENDED TOOLS

OPTIONAL HARDWARE

GLEN GARY - THIN BRICK



Glen-Gery Clay Thin Brick
(1/2", 3/4" and 1" thick)

General

Glen-Gery provides clay thin brick in a multitude of shades and textures to accommodate the visual and application requirements of most projects. Sizes range from 8 to 16 inch and from extruded to handmade providing the widest range of thin brick available for any application.

The thickness of the thin brick available is based on the method of manufacture and the desired texture/uniformity.

Extruded thin brick available in 1/2" thickness are typically extruded as thin brick with unique surface textures and colors meeting Type TBS tolerances.

Glen-Gery's greatest variety of thin brick are available in molded and extruded 3/4" thickness. This thickness allows units to be cut from full units often specifically manufactured with larger coring and thinner webs to facilitate cutting while reducing the quantity of raw material required for manufacture. Material cut from the thin brick can be ground and reused to manufacture thin or full size units. In addition, Glen-Gery's unique large scale custom cutting operation allows thin brick to be cut from a specific lot of full brick to ensure color matching of both full and thin brick.

Handmade thin brick are available in 1" thickness to accommodate the inherent variation expected from handmade units.

Today's thin brick are installed in a wide variety of different wall systems including thickset, thinset, metal panel systems (such as Glen-Gery Thin Tech® Panels) as well as precast and tilt-up concrete wall systems. The appearance of thin brick, as well as the method of manufacture, affects the potential use of the thin brick in the various wall systems available. The thickness of the individual thin brick typically has minimal, if any, effect on any of the applications.

While each of the three categories of thin brick previously listed can be installed in most of thin brick wall systems, the precast and tilt-up concrete wall systems require thin brick with very rigid tolerances and surface textures limited to smooth or velour (wirecut) textures. In addition the cleaning techniques utilized by concrete panel manufacturers may also limit colors typical of full size units. See additional information at the end of this Profile regarding thin brick for use with precast and tilt-up concrete wall systems.

Additional information is available from your Glen-Gery representative for each thin brick wall system.

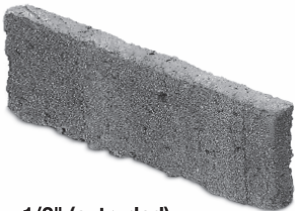
Unit Specifications

Glen-Gery thin brick are typically manufactured to conform to the requirements of American Society for Testing

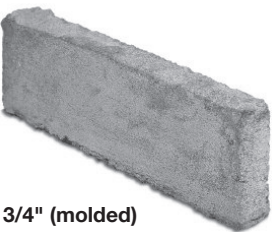
and Materials (ASTM) Standard Specification C 1088, Grade Exterior. Depending upon the particular product selected, Type TBA, TBS, or TBX may be available. These products also conform to the requirements of ASTM C 1088, Grade Interior. When specifying this product, the specifications should cite:

- 1) The product name and state "as manufactured by Glen-Gery Corporation."
- 2) Conformance to the requirements ASTM C 1088, Grade Exterior.
- 3) The actual unit dimensions listed as thickness x height x length.

Example: Harding Blend thin brick as manufactured by Glen-Gery Corporation to conform to the requirements of ASTM C 1088, Grade Exterior, Type TBS. The units shall have dimensions of 3/4" X 2-1/4" X 7-5/8".



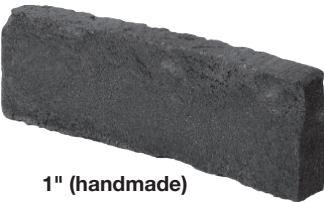
1/2" (extruded)



3/4" (molded)



3/4" (extruded)



1" (handmade)

Glen-Gery Clay Thin Brick

Revised 1/2019

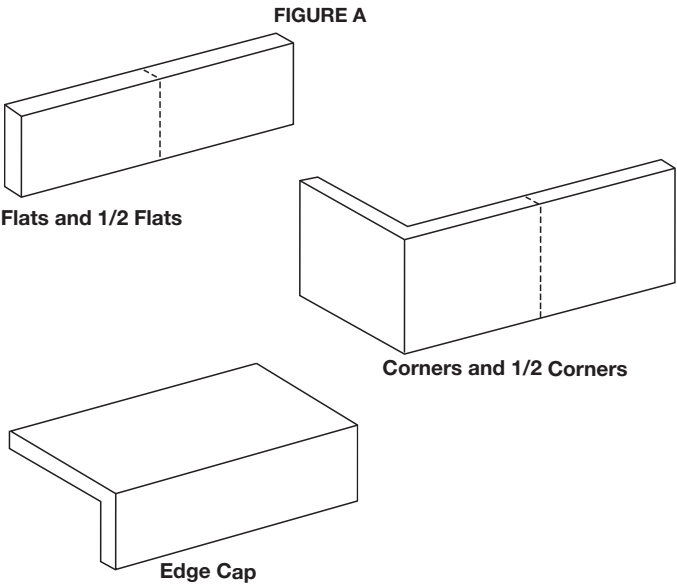
Design Criteria

Size:

Table 1 provides the many sizes in which Glen-Gery manufactures thin brick.

Dimensional Tolerances:

Glen-Gery thin brick are manufactured to provide specific dimensional tolerances. The dimensional tolerances of the product are intended to be within the requirements of ASTM C 1088, Type TBS for general use. Some products (including but not limited to those manufactured at the Hanley Plant) are manufactured to meet Type TBX. Products with colors matching Handmade bricks are manufactured to meet Type TBA. The product ordered will generally contain a number of units which are over or under the specified dimensions.



CONTINUED ON PAGE 3

TABLE 1
Thin Brick Size, Coverage and Weight

| Thin Brick Size | Specified Dimension | | | | | | Thin Brick per square foot | Average Weight per unit | |
|-------------------------------|---------------------|------|-----------------|------|-----------------|------|----------------------------|-------------------------|------|
| | Thickness (inches) | (mm) | Height (inches) | (mm) | Length (inches) | (mm) | | per unit | (kg) |
| Queen | 3/4 | 20 | 2-3/4 | 70 | 7-5/8 | 194 | 5.63 | 1.6 | 0.7 |
| Lightweight Modular | 3/4 | 20 | 2-1/4 | 57 | 7-5/8 | 194 | 6.75 | 1.0 | 0.5 |
| Lightweight Engineer Modular | 3/4 | 20 | 2-3/4 | 70 | 7-5/8 | 194 | 5.63 | 1.0 | 0.5 |
| 1/2-Modular (extruded) | 1/2 | 13 | 2-1/4 | 57 | 7-5/8 | 194 | 6.75 | 0.7 | 0.3 |
| 3/4-Modular (extruded/molded) | 3/4 | 20 | 2-1/4 | 57 | 7-5/8 | 194 | 6.75 | 1.1 | 0.5 |
| Modular (handmade) | 1 | 25 | 2-1/4 | 57 | 7-5/8 | 194 | 6.75 | 1.1 | 0.5 |
| 1/2-Engineer Modular | 1/2 | 13 | 2-3/4 | 70 | 7-5/8 | 194 | 5.63 | 0.8 | 0.4 |
| 3/4- Engineer Modular | 3/4 | 20 | 2-3/4 | 70 | 7-5/8 | 194 | 5.63 | 1.6 | 0.7 |
| Econo | 3/4 | 20 | 3-5/8 | 92 | 7-5/8 | 194 | 4.50 | 1.5 | 0.7 |
| Standard | 3/4 | 20 | 2-1/4 | 57 | 8 | 203 | 6.55 | 1.1 | 0.5 |
| Engineer Standard | 3/4 | 20 | 2-3/4 | 70 | 8 | 203 | 5.39 | 1.7 | 0.8 |
| Handmade Oversized | 1 | 25 | 2-3/4 | 70 | 8-1/2 | 216 | 5.00 | 1.7 | 0.8 |
| King Narrow-Bed | 3/4 | 20 | 2-3/4 | 70 | 9-5/8 | 244 | 4.55 | 1.5 | 0.7 |
| Engineer King | 3/4 | 20 | 2-3/16 | 71 | 9-5/8 | 244 | 4.55 | 1.5 | 0.7 |
| King | 3/4 | 20 | 3-5/8 | 92 | 9-5/8 | 244 | 4.55 | 1.5 | 0.7 |
| Roman | 3/4 | 20 | 1-5/8 | 41 | 11-5/8 | 295 | 6.00 | 1.0 | 0.5 |
| Norman | 3/4 | 20 | 2-1/4 | 57 | 11-5/8 | 295 | 4.50 | 1.5 | 0.7 |
| Utility | 3/4 | 20 | 3-5/8 | 57 | 11-5/8 | 295 | 3.00 | 2.4 | 1.1 |
| Kingston | 3/4 | 20 | 2-3/4 | 70 | 11-5/8 | 295 | 3.75 | 1.9 | 0.9 |
| Viking | | | 1-5/8 | 41 | 15-5/8 | 397 | 4.50 | 5.9 | 2.7 |
| Saxon | 3/4 | 20 | 2-1/4 | 57 | 15-5/8 | 397 | 3.38 | 2.0 | 0.9 |
| Titan | 3/4 | 20 | 3-5/8 | 92 | 15-5/8 | 397 | 2.25 | 3.0 | 1.4 |

GLEN GARY - THIN BRICK

Glen-Gery Clay Thin Brick

Revised 1/2019

CONTINUED FROM PAGE 2

The dimensional variations are related to the raw materials, forming, drying and firing processes, and the desired finish and color. Thus, for some products, all the units may be slightly over or slightly under the specified dimensions.

Inquiries should be made regarding the dimensional variations which might be expected if project detailing requires precise coursing.

Specialty products or gauged products may be desirable when thin brick are incorporated into precast or tilt-up concrete wall systems. Many of Glen-Gery's extruded products include dimensional tolerances tighter than those required by ASTM and can be utilized for precast

concrete wall systems. Glen-Gery also offers edge-grinding of units to create tighter tolerances if required.

Configurations:

These units are manufactured to conform to the requirements of ASTM C 1088.

Weight:

The weight of the brick units vary with the raw material, size, manufacturing processes. While actual weight of specific thin brick should be confirmed, average weight of each size thin brick manufactured by Glen-Gery is included in Table 1.

Finishes:

Glen-Gery thin brick are available in a variety of textures. The textures include smooth, velour, bar, rug, matt, paper cut, scored, rockface, slurry and sand finishes. The availability of a particular finish is usually dependent on the specific product.

Glazed thin brick meeting ASTM C126 surface requirements are also available.

Color:

Glen-Gery thin brick are available in a multitude of color blends. The colors

Glen-Gery Clay Thin Brick

Revised 1/2019

available include various shades of red, brown, gray, buff, and white. Some colors are the natural colors of the fired raw materials, while others are produced by fusing a surface treatment onto the surface of the brick during firing or adding minerals to the bodies of the brick. If through body colors are desired, inquiries should be made regarding the availability of the desired colors. The color selection may also be limited by the product selected and the desired finish. Consult with your Glen-Gery representative for products acceptable in specific applications.

Shapes:

Common thin brick shapes are shown in Figure A.

Shapes dimensioned for coursing with other brick sizes, and custom shapes having configurations to fit specific project requirements are also available. These nonstandard shapes require detailed dimension drawings which must be submitted to and approved by Glen-Gery.

All shapes should be identified early in the project design because certain shape configurations may require special forming, drying, or firing processes. These processes may require more time or different scheduling than standard thin brick.

Physical Properties of Units

Compressive Strength:

Because thin brick are individually attached to substrates, compressive strength is not a relevant quality of thin bricks. ASTM C 1088 does not require reporting of compressive strength because testing tall, thin sections of brick for compressive strength are not indicative of performance.

Water Absorption:

Glen-Gery's extruded products: The average maximum hot-water absorption by submersion in boiling water for five hours is less than 17% and will typically be less than 9%. The average

saturation coefficient is generally less than 0.78. In instances where the saturation coefficient exceeds 0.78, the cold water absorption for Glen-Gery brick is less than 8% and the units meet the requirements of ASTM C1088, Grade Exterior.

Glen-Gery's molded and Handmade products: The average maximum hot-water absorption by submersion in boiling water for five hours is less than 17% and will typically be less than 15%. The average saturation coefficient is generally less than 0.65.

Initial Rate of Absorption (IRA):

Glen-Gery's extruded products: The initial

rate of absorption (suction) normally does not exceed 30 grams per 30 square inches per minute under laboratory conditions.

Glen-Gery's molded and Handmade products: The initial rate of absorption (suction) normally may exceed 30 grams per 30 square inches per minute under laboratory conditions.

Properties of Walls

Compressive Strength:

Compressive strength of a thin brick wall system is not typically affected by the thin brick units provided.

TABLE 2
Thin Brick and Mortar Quantities¹
Nominal 3/8 Inch Mortar Joints

| Thin Brick Size | Vertical Coursing in courses per inch | Thin Brick units per square foot | *Mortar Quantities | |
|-------------------------------|--|--|-----------------------------------|------------------------------|
| | | | Cubic Foot per 100 square foot | Cubic Foot per 1000 units |
| Queen | 5 Courses per 16" | 5.63 | 0.99 | 1.76 |
| Lightweight Modular | 3 Courses per 8" | 6.75 | 1.13 | 1.68 |
| Lightweight Engineer Modular | 5 Courses per 16" | 5.63 | 0.99 | 1.76 |
| 1/2-Modular (extruded) | 3 Courses per 8" | 6.75 | 0.75 | 1.12 |
| 3/4-Modular (extruded/molded) | 3 Courses per 8" | 6.75 | 1.13 | 1.68 |
| Modular (handmade) | 4 Courses per 8" | 6.75 | 1.51 | 2.23 |
| 1/2-Engineer Modular | 5 Courses per 16" | 5.63 | 0.66 | 1.17 |
| 3/4- Engineer Modular | 3 Courses per 8" | 5.63 | 0.99 | 1.76 |
| Econo | 1 Course per 4" | 4.50 | 0.85 | 1.89 |
| Standard | 3 Courses per 8" | 6.55 | 0.85 | 1.30 |
| Engineer Standard | 5 Courses per 16" | 5.39 | 0.98 | 1.82 |
| Handmade Oversized | 5 Courses per 16" | 5.00 | 1.23 | 2.46 |
| King Narrow-Bed | 5 Courses per 16" | 4.55 | 0.95 | 2.09 |
| Engineer King | 5 Courses per 16" | 4.55 | 0.71 | 1.57 |
| King | 5 Courses per 16" | 4.55 | 0.95 | 2.09 |
| Roman | 4 Courses per 8" | 6.00 | 1.33 | 2.22 |
| Norman | 3 Courses per 8" | 4.50 | 1.05 | 2.33 |
| Utility | 1 Course per 4" | 3.00 | 0.76 | 2.54 |
| Kingston | 5 Courses per 16" | 3.75 | 0.90 | 2.41 |
| Viking | 4 Courses per 8" | 4.50 | 5.9 | 2.7 |
| Saxon | 3 Courses per 8" | 3.38 | 1.01 | 2.98 |
| Titan | 1 Course per 4" | 2.25 | 0.72 | 3.19 |

¹ These values are actual quantities and must be increased for waste and any possible construction requirements which may necessitate additional quantities.

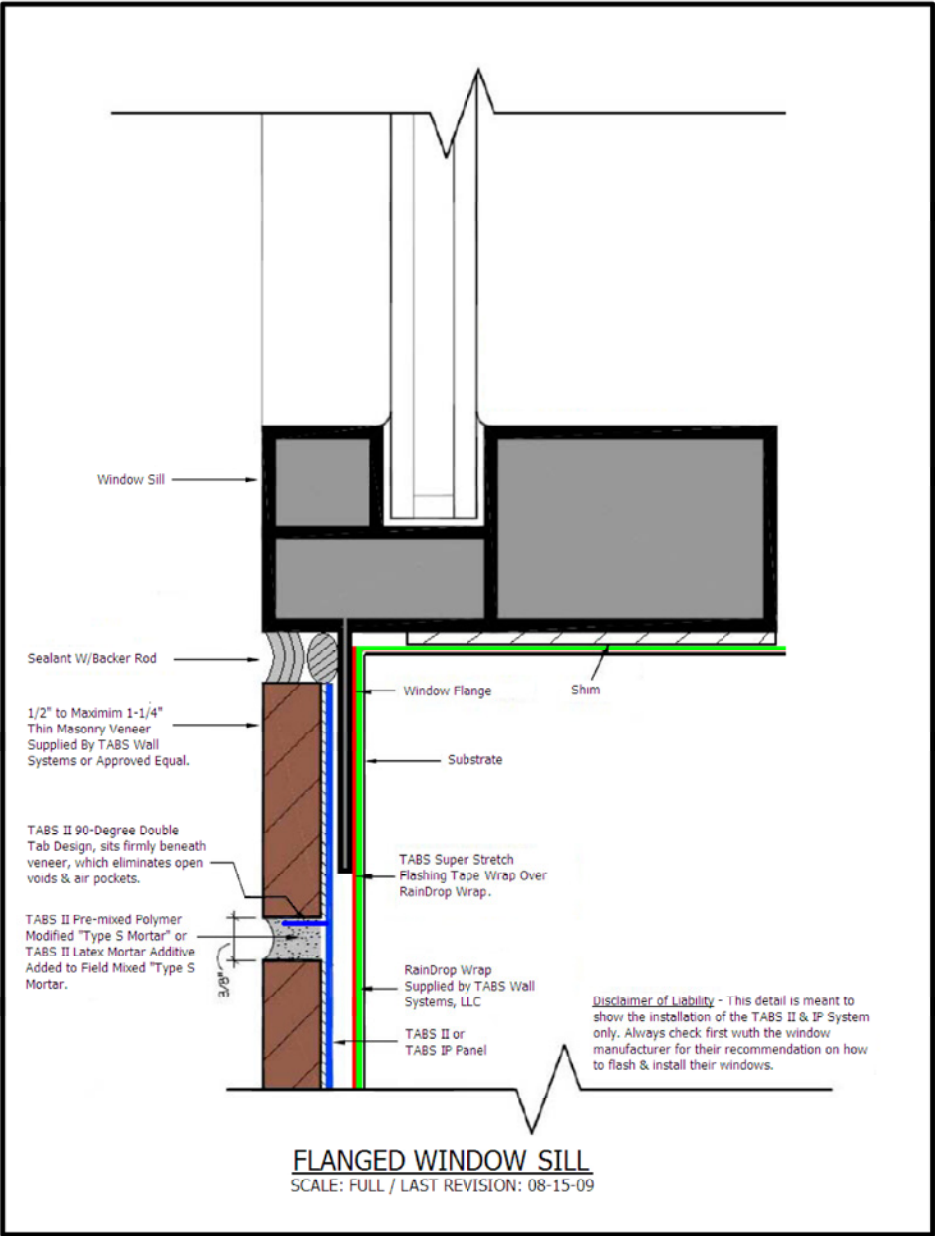
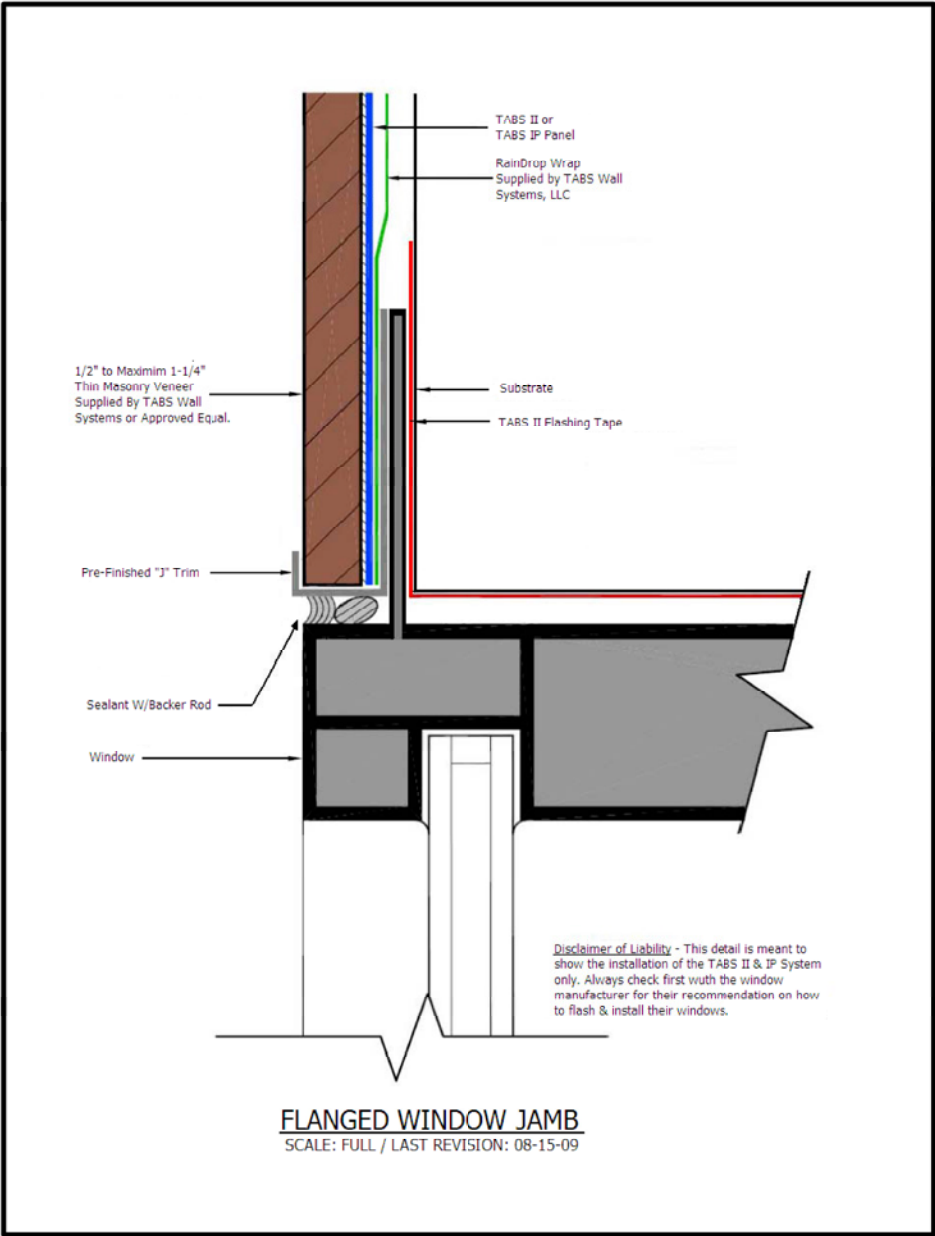
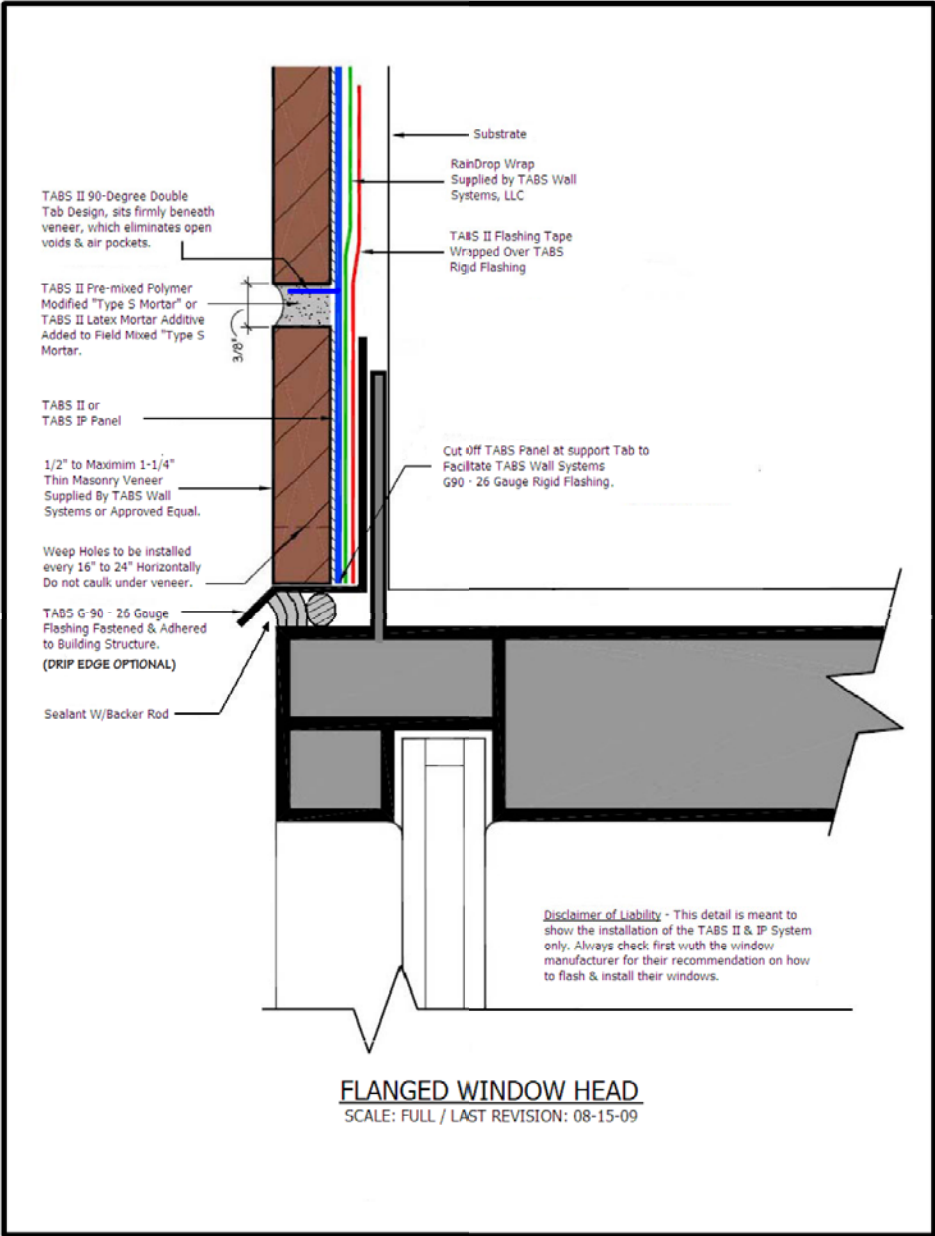
* Mortar estimate includes mortar needed for concave, vee or grapevine joints only; for Thin Tech® or Thinset Applications. Thickset applications will require additional material for scratch coat/mortar bed.

TABLE 3
Units Per Linear Foot in Various Positions
Nominal 3/8 Inch Mortar Joints

| Thin Brick Size | FLATS | | SHAPES | |
|------------------------------|-----------|---------|------------------------|--------------------------|
| | Stretcher | Soldier | Corner (Vertically) | Header (Horizontally) |
| Queen | 1.50 | 3.75 | 3.75 | 1.57 |
| Lightweight Modular | 1.50 | 4.50 | 4.50 | 1.57 |
| Lightweight Engineer Modular | 1.50 | 3.75 | 3.75 | 1.57 |
| Modular | 1.50 | 4.50 | 4.50 | 1.57 |
| Engineer Modular | 1.50 | 3.75 | 3.75 | 1.57 |
| Econo | 1.50 | 3.00 | 3.00 | 1.57 |
| Standard | 1.43 | 4.50 | 4.50 | 1.50 |
| Engineer Standard | 1.43 | 3.75 | 3.75 | 1.50 |
| Handmade Oversized | 1.33 | 3.75 | 3.75 | 1.41 |
| King Narrow-Bed | 1.20 | 3.75 | 3.75 | 1.25 |
| Engineer King | 1.20 | 4.26 | 3.75 | 1.25 |
| King | 1.20 | 3.75 | 3.75 | 1.25 |
| Roman | 1.00 | 6.00 | 1.50 | 1.03 |
| Norman | 1.00 | 4.50 | 4.50 | 1.03 |
| Utility | 1.00 | 3.00 | 3.00 | 1.03 |
| Kingston | 1.00 | 3.75 | 3.75 | 1.03 |
| Viking | 0.75 | 6.00 | | |
| Saxon | 0.75 | 4.50 | * | 0.77 |
| Titan | 0.75 | 3.00 | * | 0.77 |

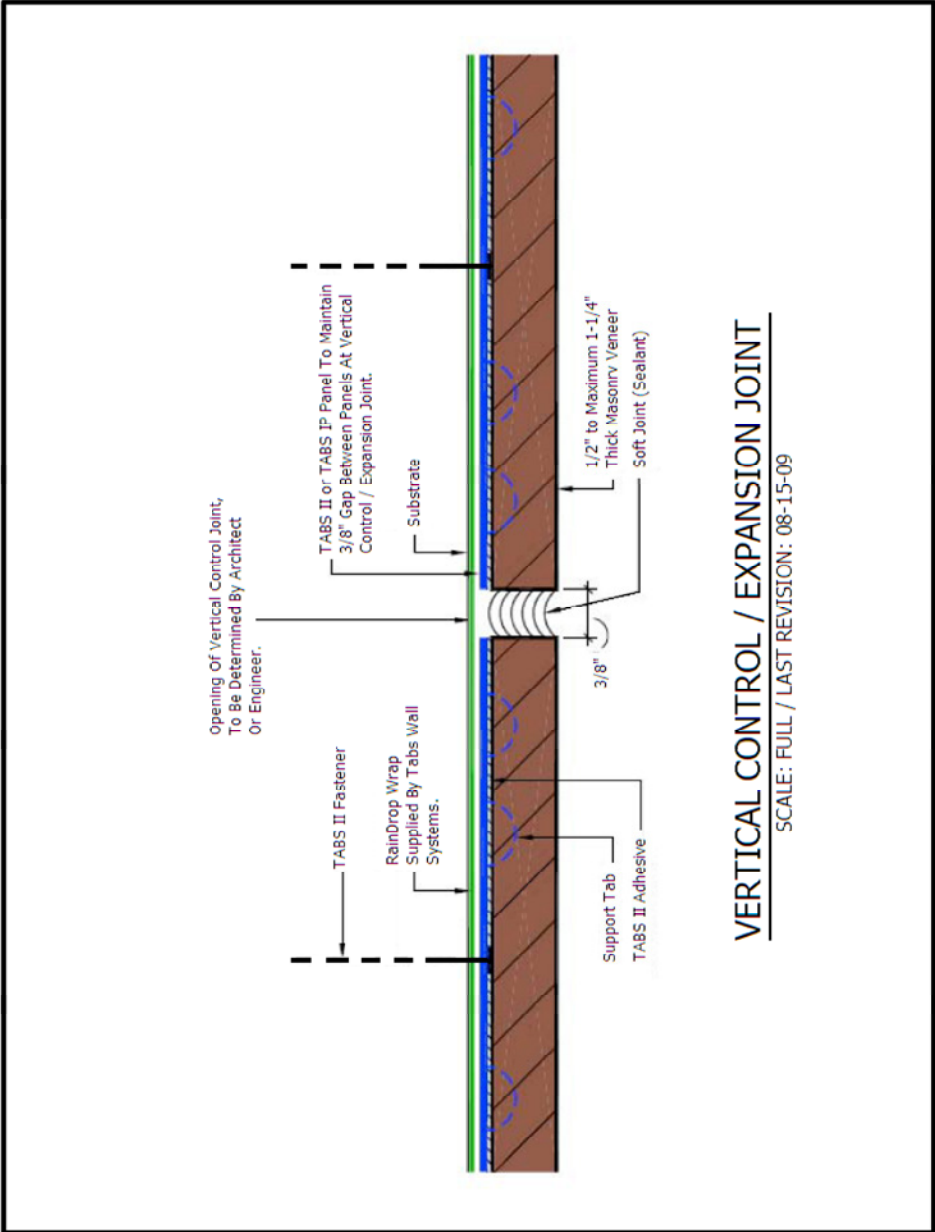
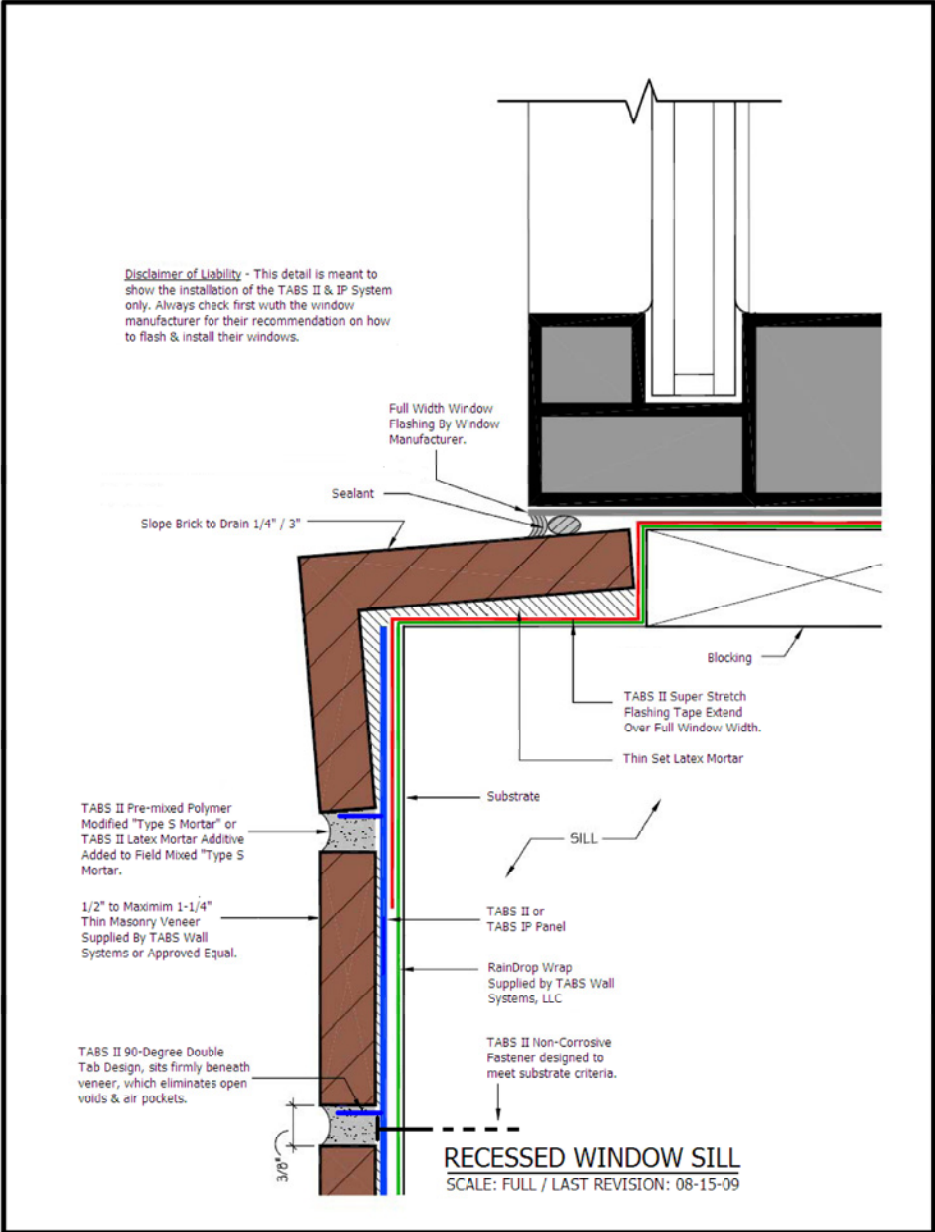
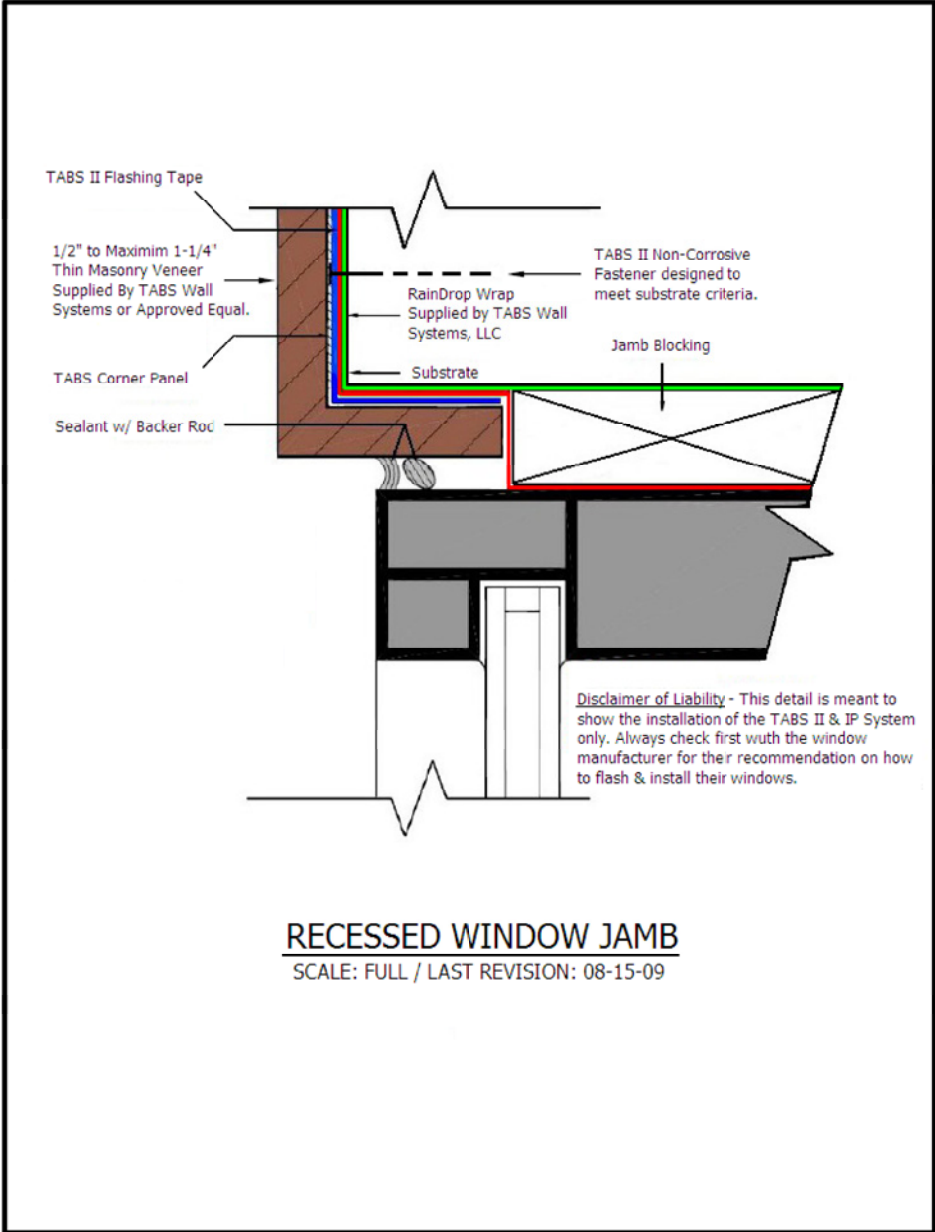
*12-inch units could be used at corner to allow proper 1/2-bond coursing.

TABS WALL SYSTEM - TABS II



THIN BRICK TAB SYSTEM DETAIL
218 WEST MARKET STREET

TABS WALL SYSTEM - TABS II



STOPOWERWALL DRAINSCREEN

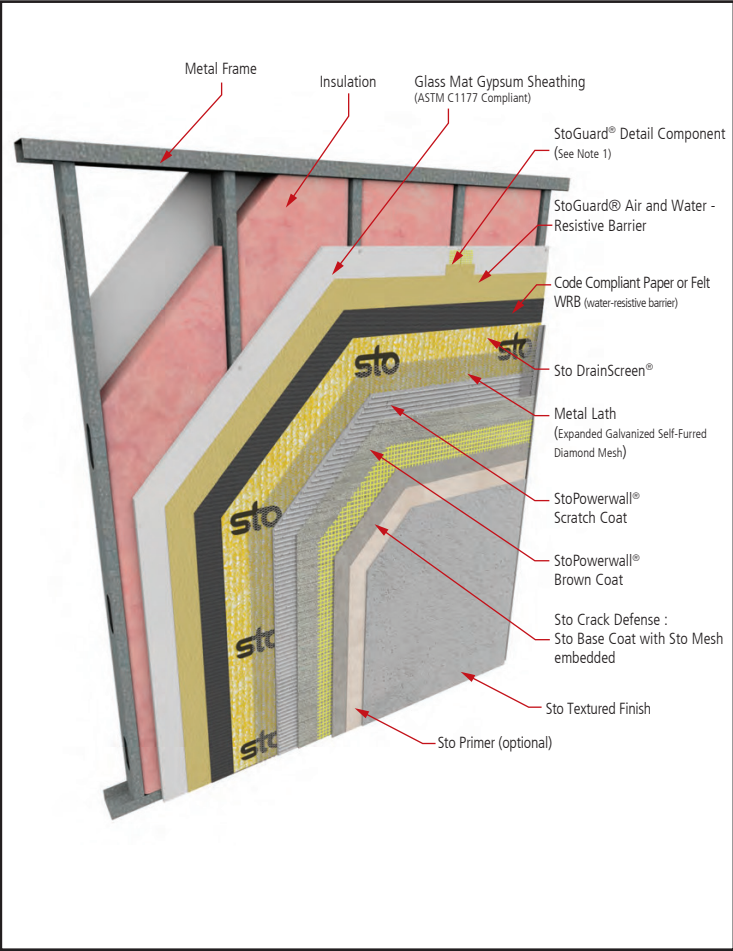
Back to Top



Back to Top

StoPowerwall® DrainScreen® System Components with Sto Crack Defense System

Detail No.: 64s.01
Date: March 2022



Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

Property of Sto Corp. All Rights Reserved.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

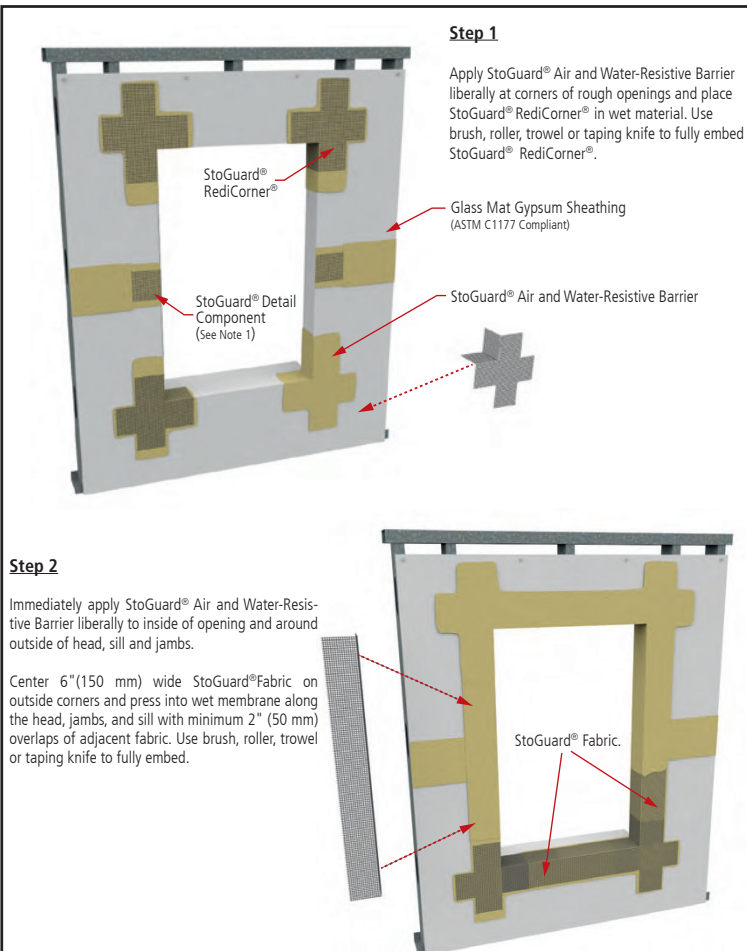
STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

StoPowerwall® DrainScreen® Rough Opening Protection with StoGuard®Fabric



Back to Top

Detail No.: 64s.04F
Date: March 2022
Page 1 of 2



Step 1

Apply StoGuard® Air and Water-Resistive Barrier liberally at corners of rough openings and place StoGuard® RediCorner® in wet material. Use brush, roller, trowel or taping knife to fully embed StoGuard® RediCorner®.

Glass Mat Gypsum Sheathing (ASTM C1177 Compliant)

StoGuard® Air and Water-Resistive Barrier

Step 2

Immediately apply StoGuard® Air and Water-Resistive Barrier liberally to inside of opening and around outside of head, sill and jambs.

Center 6\"/>

Property of Sto Corp. All Rights Reserved.

www.stocorp.com



ATTENTION

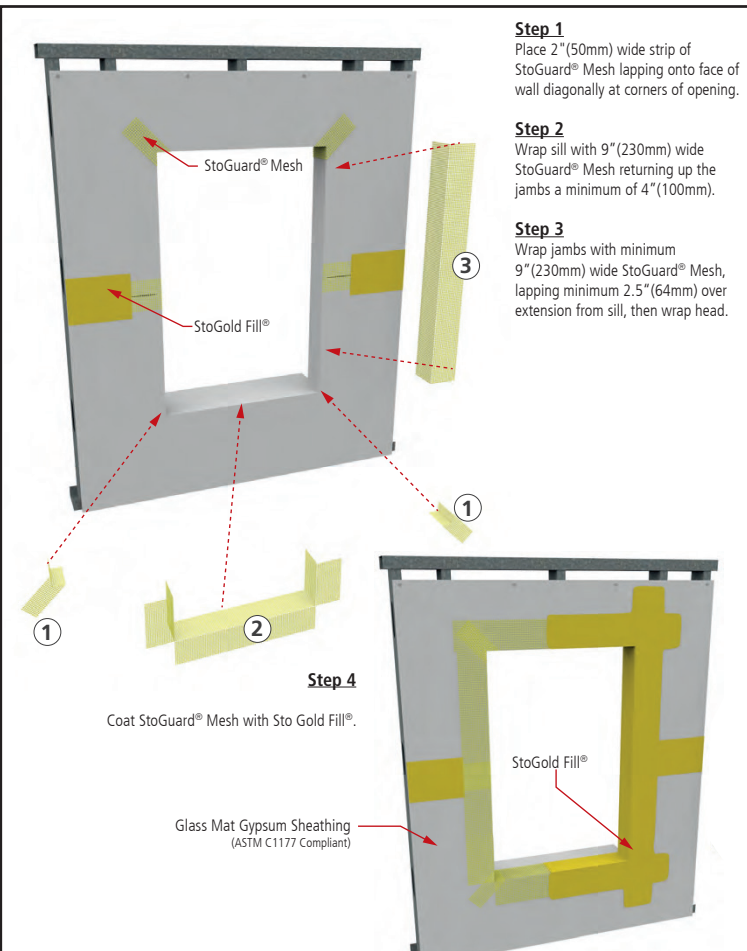
Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

StoPowerwall® DrainScreen® Rough Opening Protection with StoGuard®Mesh



Detail No.: 64s.04M
Date: March 2022
Page 1 of 2



Step 1

Place 2\"/>

Step 2

Wrap sill with 9\"/>

Step 3

Wrap jambs with minimum 9\"/>

Step 4

Coat StoGuard® Mesh with Sto Gold Fill®.

Glass Mat Gypsum Sheathing (ASTM C1177 Compliant)

Property of Sto Corp. All Rights Reserved.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

STOPOWERWALL DRAINSCREEN

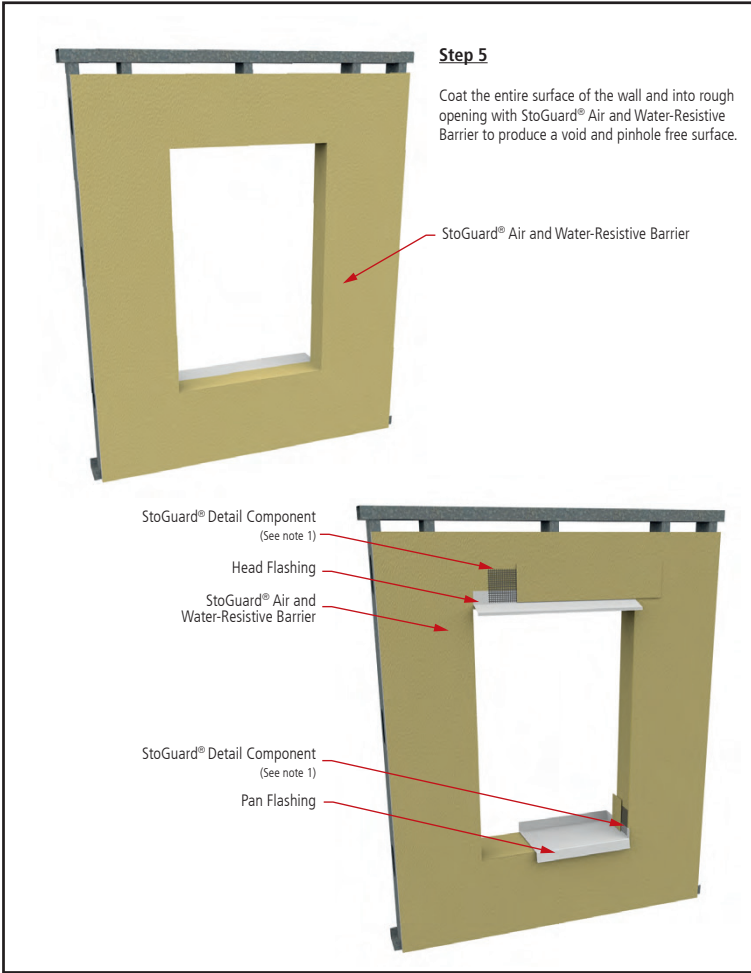
Back to Top



Back to Top

StoPowerwall® DrainScreen®
Rough Opening Protection with StoGuard®Mesh

Detail No.: 64s.04M
Date: March 2022
Page 2 of 2



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



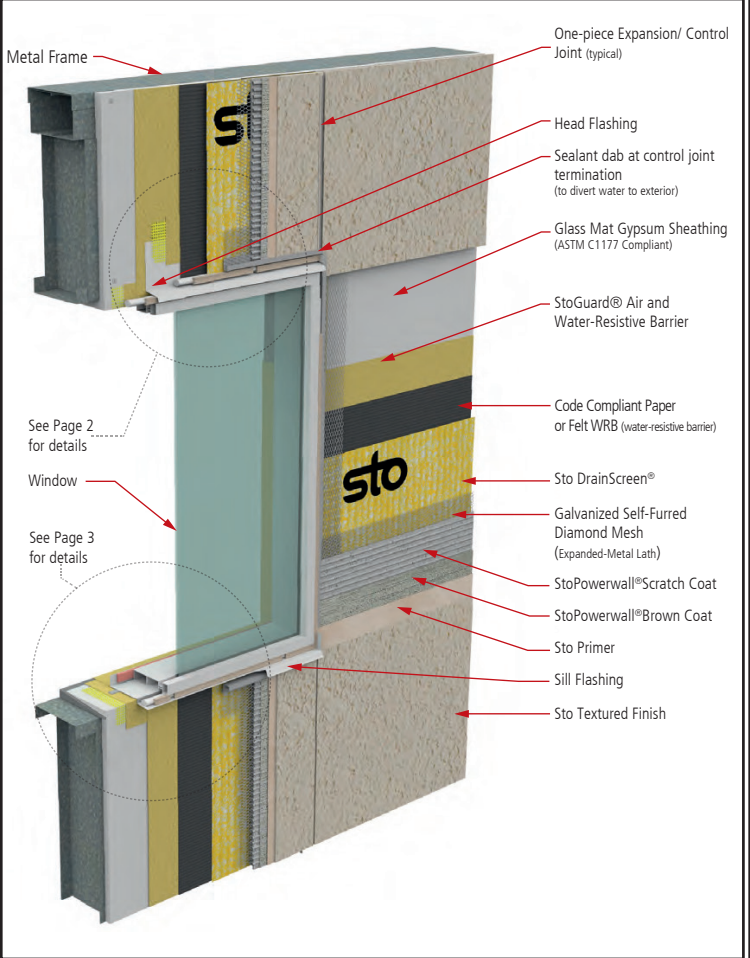
ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

StoPowerwall® DrainScreen®
Box Window at Sill, Jamb, and Head

Detail No.: 64s.05
Date: March 2022
Page 1 of 3



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

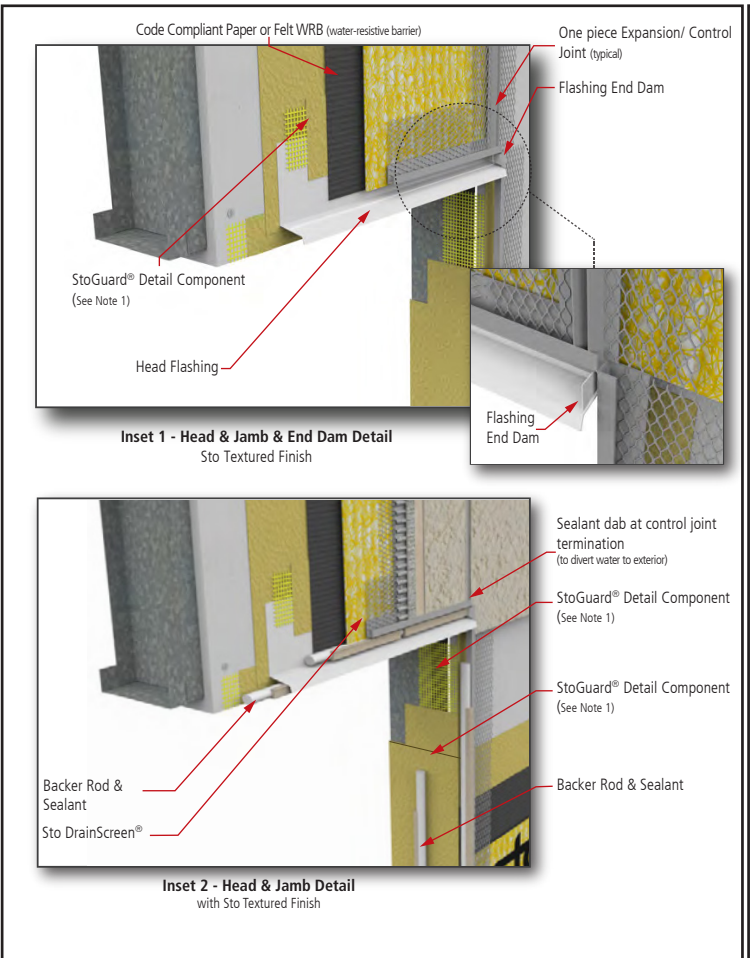
STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

Back to Top



StoPowerwall® DrainScreen®
Box Window at Head/Jamb

Detail No.: 64s.05
Date: March 2022
Page 2 of 3



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.



STUCCO SYSTEM DETAILS
218 WEST MARKET STREET



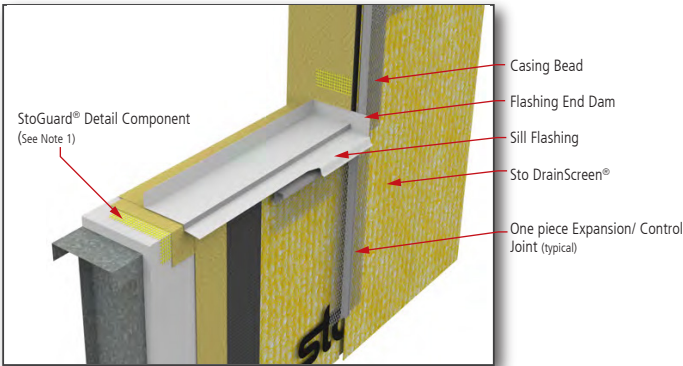
STOPOWERWALL DRAINSCREEN

Back to Top

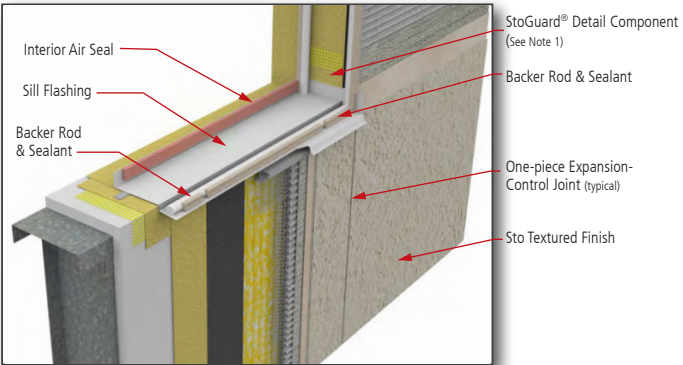


StoPowerwall® DrainScreen®
Box Window at Sill/Jamb

Detail No.: 64s.05
Date: March 2022
Page 3 of 3



Inset 3 - Sill & Jamb Detail
without Sto Textured Finish



Inset 4 - Sill & Jamb Detail
with Sto Textured Finish

- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com

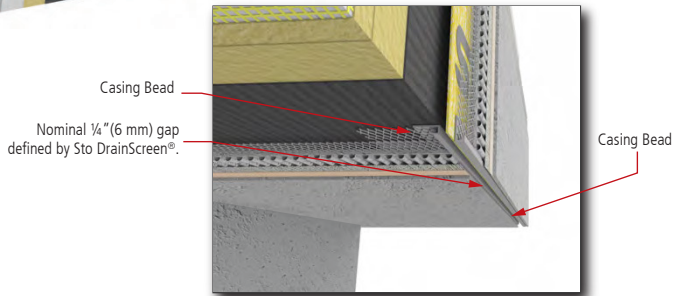
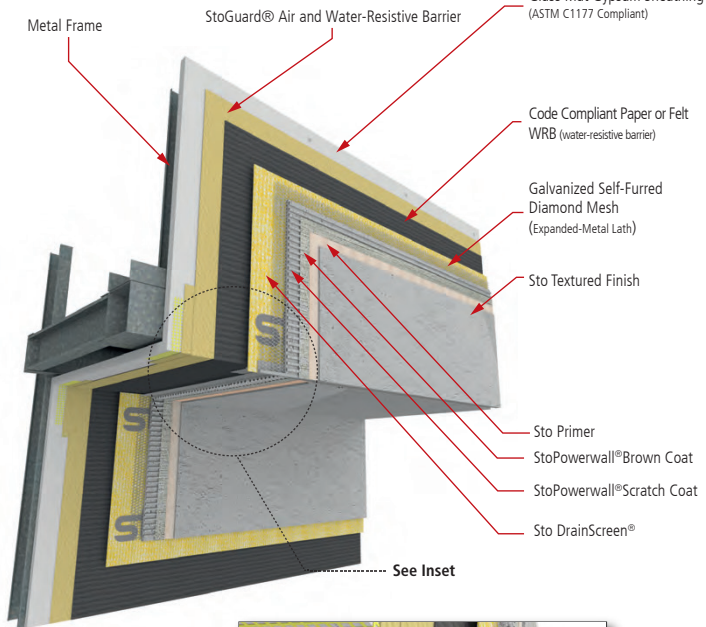


Back to Top



StoPowerwall® DrainScreen®
Soffit Return

Detail No.: 64s.07
Date: March 2022



Inset - Soffit Detail

- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com

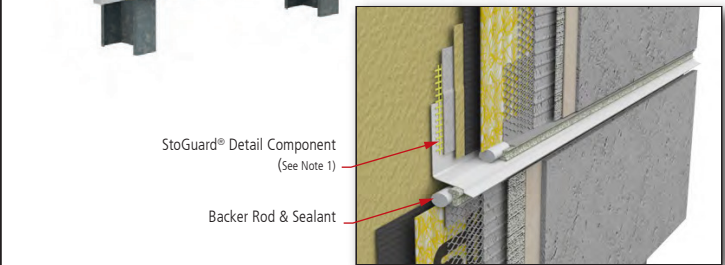
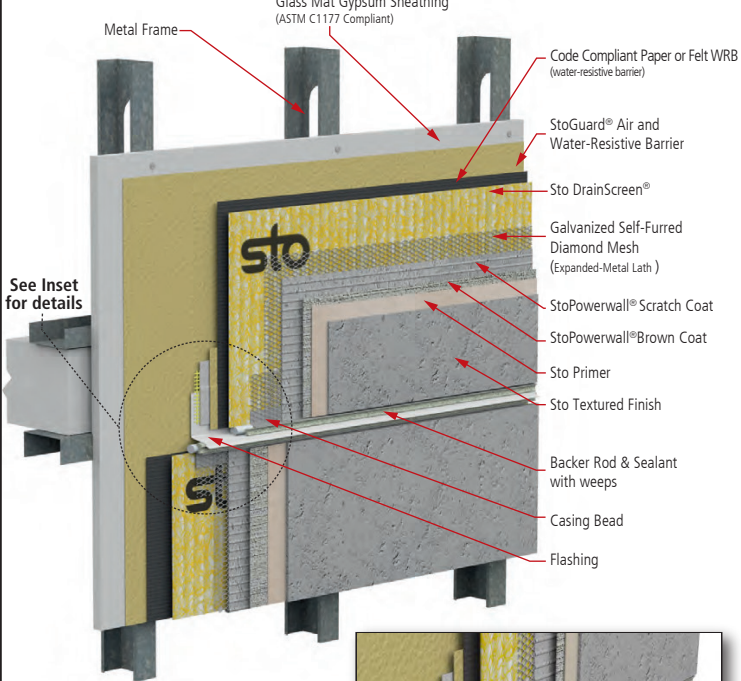


Back to Top



StoPowerwall® DrainScreen®
Floorline without Deflection Track

Detail No.: 64s.08
Date: March 2022



Inset - Floorline

- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



ATTENTION Property of Sto Corp. All Rights Reserved.

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

ATTENTION Property of Sto Corp. All Rights Reserved.

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

ATTENTION Property of Sto Corp. All Rights Reserved.

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

STOPOWERWALL DRAINSCREEN

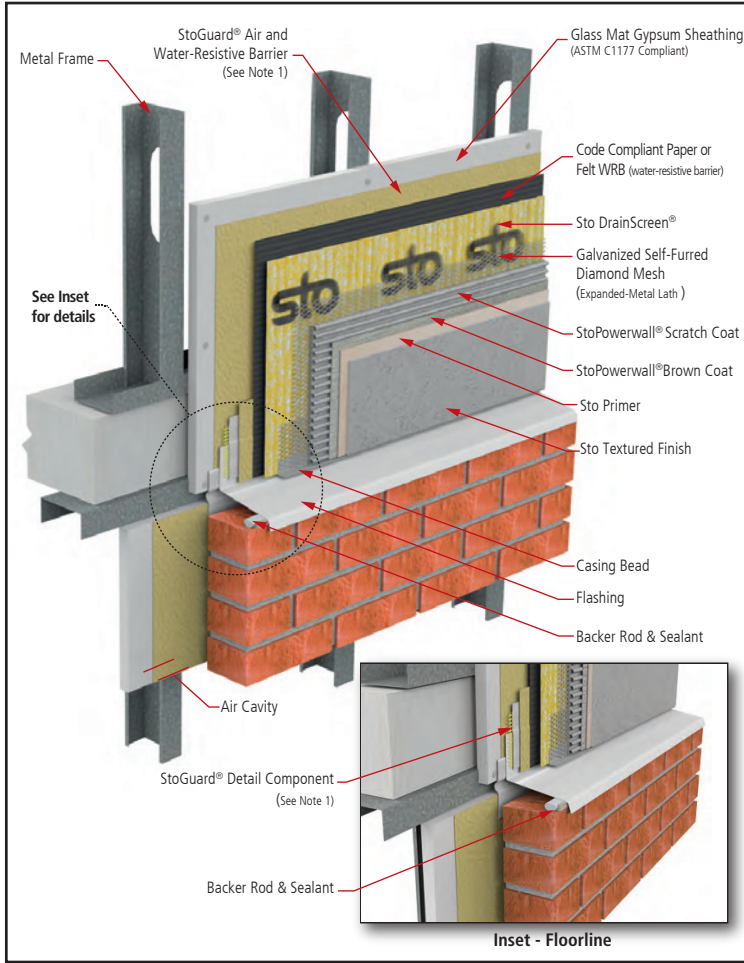
Back to Top



Back to Top

StoPowerwall® DrainScreen®
Horizontal Joint at Dissimilar Material

Detail No.: 64s.10
Date: March 2022



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.
 7. Attach assembly components above floorline joint to deep leg track. Attach assembly components below floor line joint to embedded track with sufficient distance from deep leg track to allow for unimpeded floorline deflection.

www.stocorp.com



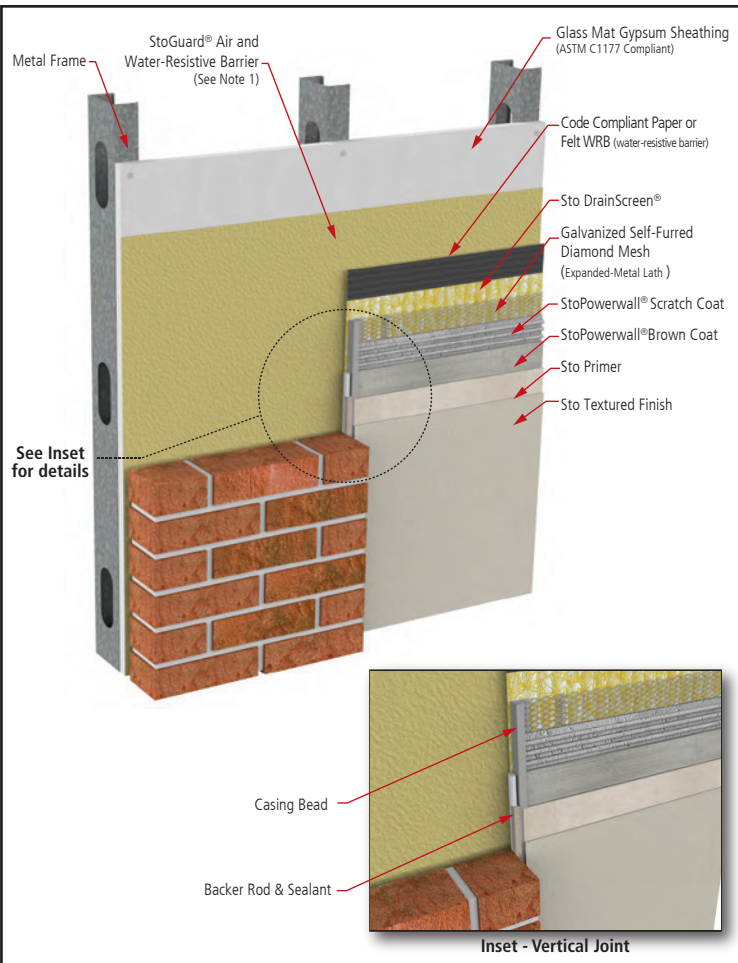
ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

StoPowerwall® DrainScreen®
Vertical Joint at Dissimilar Material

Detail No.: 64s.11
Date: March 2022



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

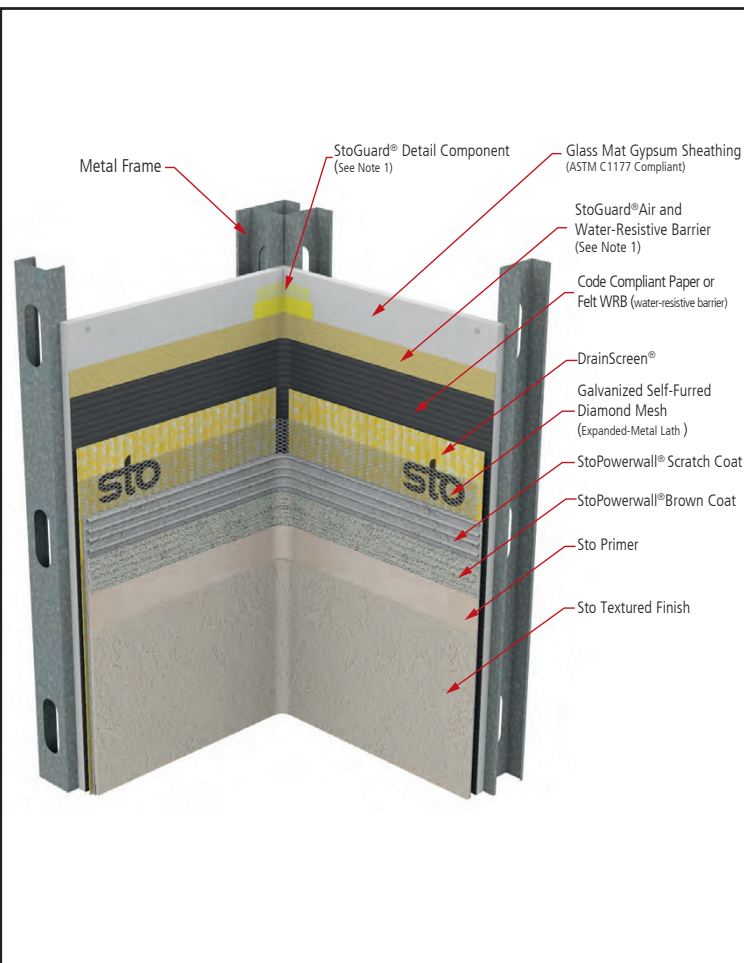
STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

Back to Top



StoPowerwall® DrainScreen®
Inside Corner: Common Substrate

Detail No.: 64s.12
Date: March 2022



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com



ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, of for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

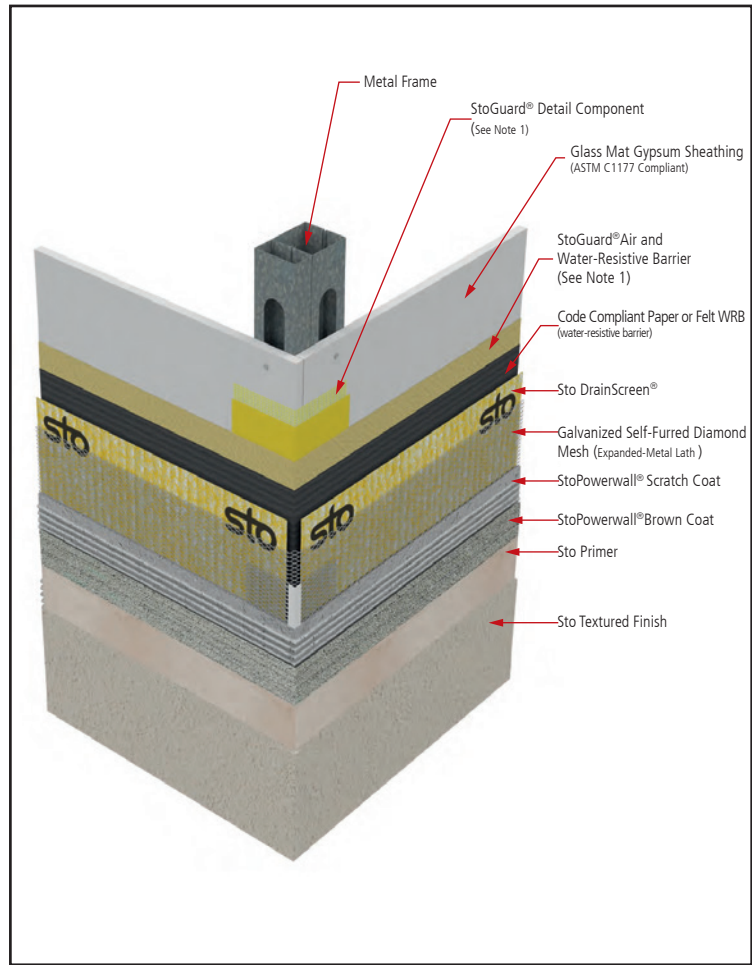
STOPOWERWALL DRAINSCREEN

⬆️ Back to Top



StoPowerwall® DrainScreen® Outside Corner: Common Substrate

Detail No.: 64s.14
Date: March 2022



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

ATTENTION

Property of Sto Corp. All Rights Reserved.

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

www.stocorp.com

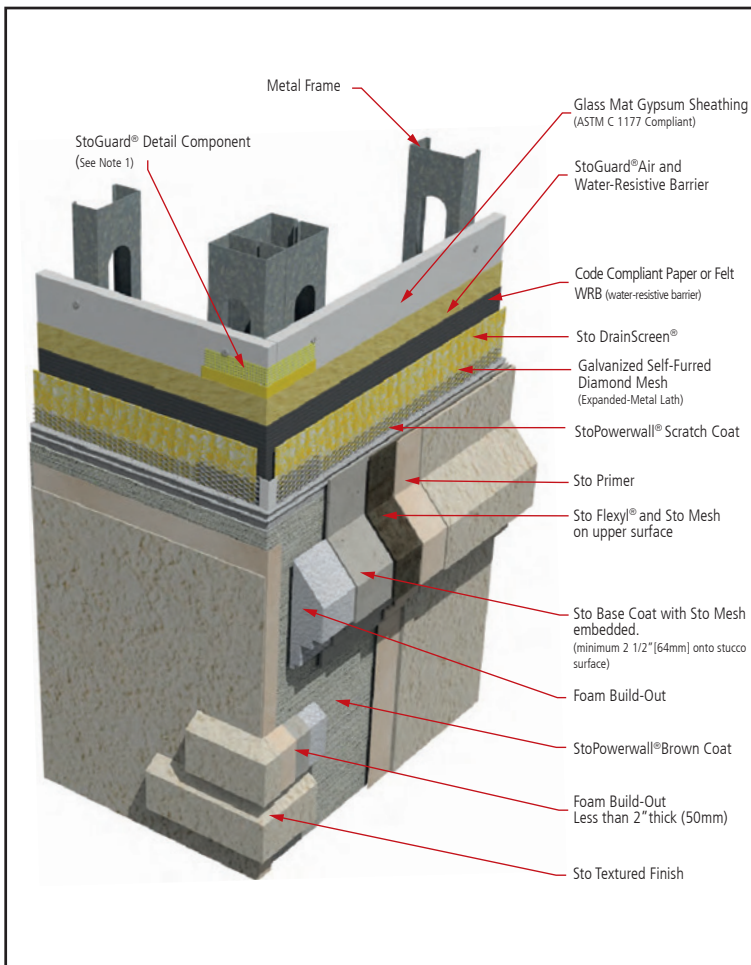


⬆️ Back to Top



Sto Powerwall® DrainScreen® Foam Buildouts

Detail No.: 64s.20
Date: March 2022



- Notes:**
1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
 2. Refer to General Notes for specific information and design guidance on wall assembly components.
 3. Glass mat gypsum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
 4. Minimum 2.5 lb/yd² (1.4 kg/m²) self-furred galvanized diamond mesh metal lath.
 5. Stucco scratch and brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

ATTENTION

Property of Sto Corp. All Rights Reserved.

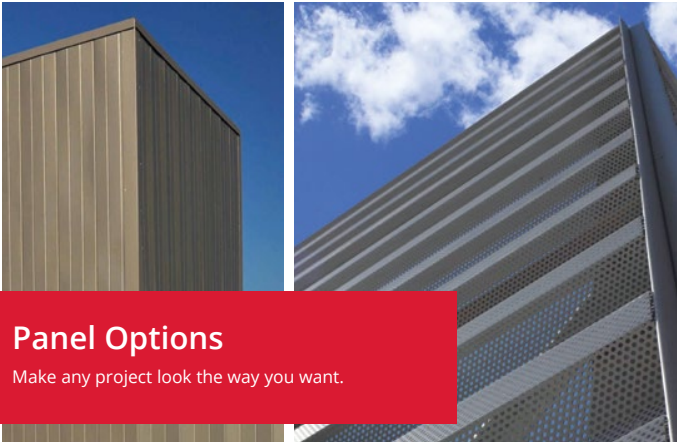
Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

www.stocorp.com



ROOFSCREEN - SLATTED LOUVER



Panel Options

Make any project look the way you want.

The RoofScreen® System's design is flexible. Choose one of our standard panels, or spec any material you want to make your project look stunning.



FLAT PANELS

An excellent choice when the desired effect is to blend with other flat surfaces in the building's architecture. Available in plain, textured and perforated finishes.



RIBBED PANELS

Economical and very strong with good spanning capability. Available in many styles including perforated and can be oriented vertically or horizontally.



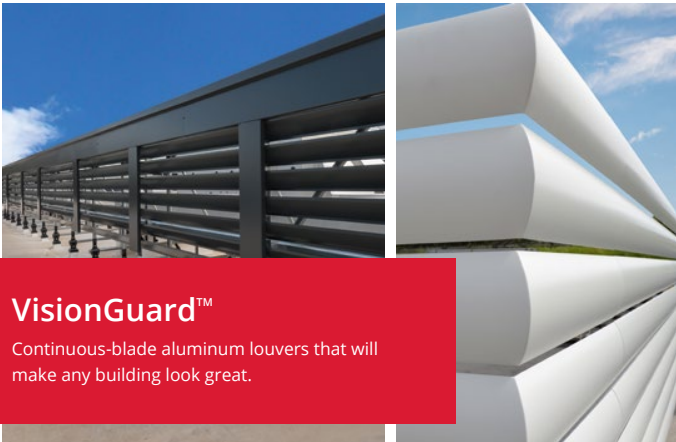
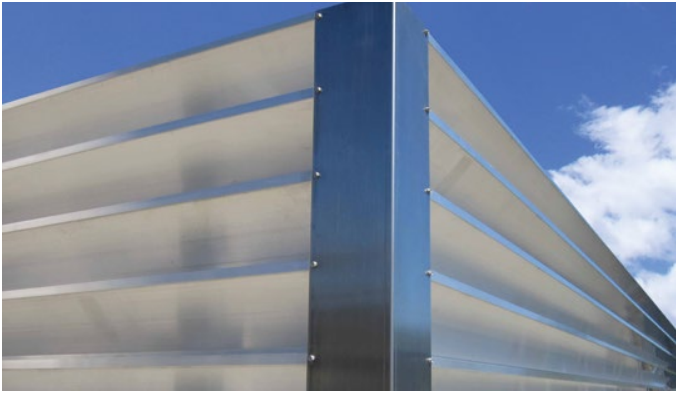
ALUMINUM LOUVERS

Louvers provide dramatic visual appeal and can transform an otherwise plain looking building. Available in 3 attractive designs and unlimited colors.



ACOUSTICAL PANELS

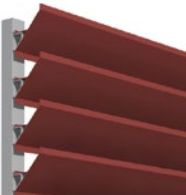
Our sound-deadening panel assembly is perfect for noisy rooftop equipment. The face panels can be any style, color and material desired.



VisionGuard™

Continuous-blade aluminum louvers that will make any building look great.

VisionGuard™ Louvers are very strong with excellent spanning capabilities and can be mounted to RoofScreen® framing or any other supports or substrates.



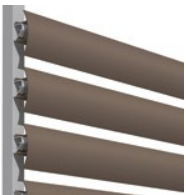
ANGLED LOUVER L10

Our VisionGuard™ Angled Louver incorporates a 45° continuous-blade profile. It is perfect for use in architectural and vision-proofing applications where a traditional angled louver aesthetic is desired.



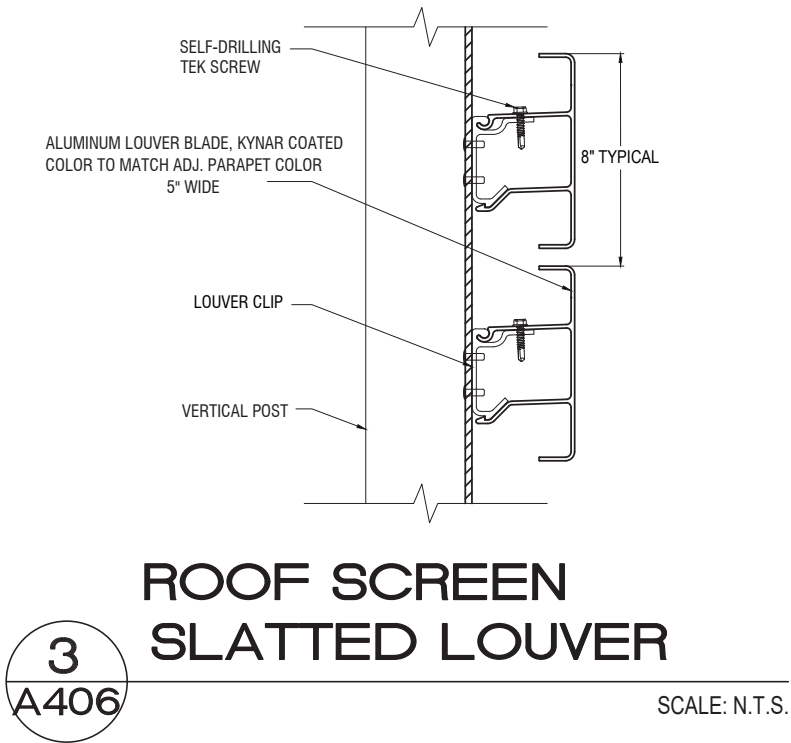
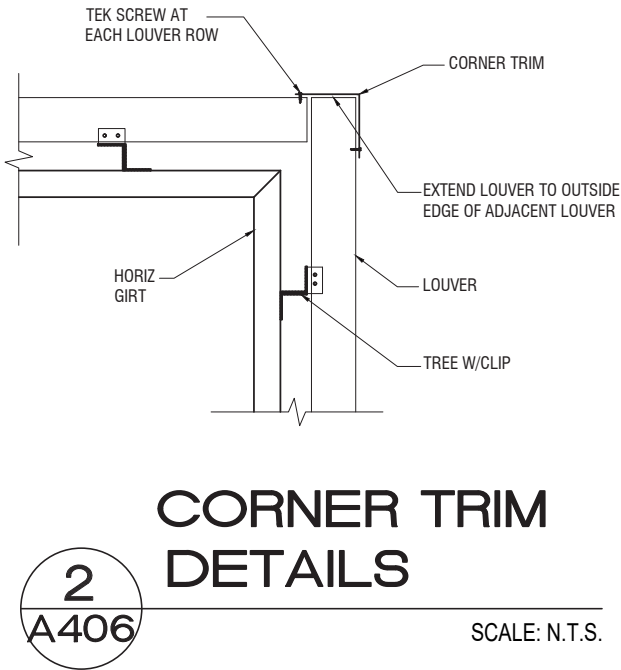
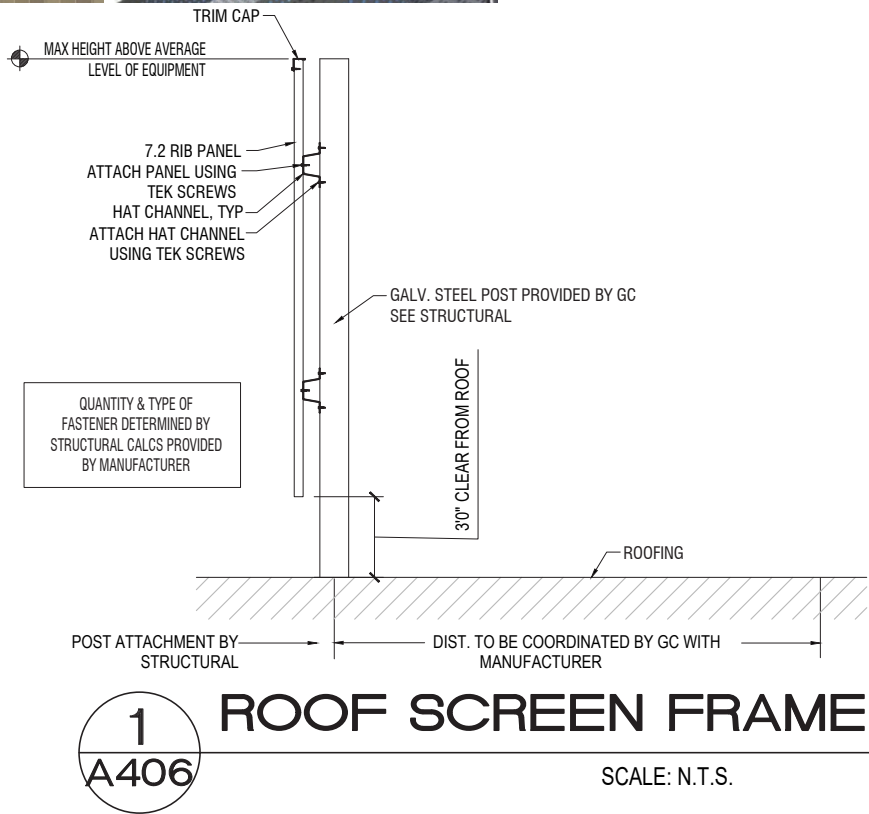
SLATTED LOUVER L20

For projects where a slatted or lattice style effect is desired, the VisionGuard™ Slatted Louver System is ideal. The blades are 5.5" wide and the gap between blades can be specified to any distance desired.



CURVED LOUVER L30

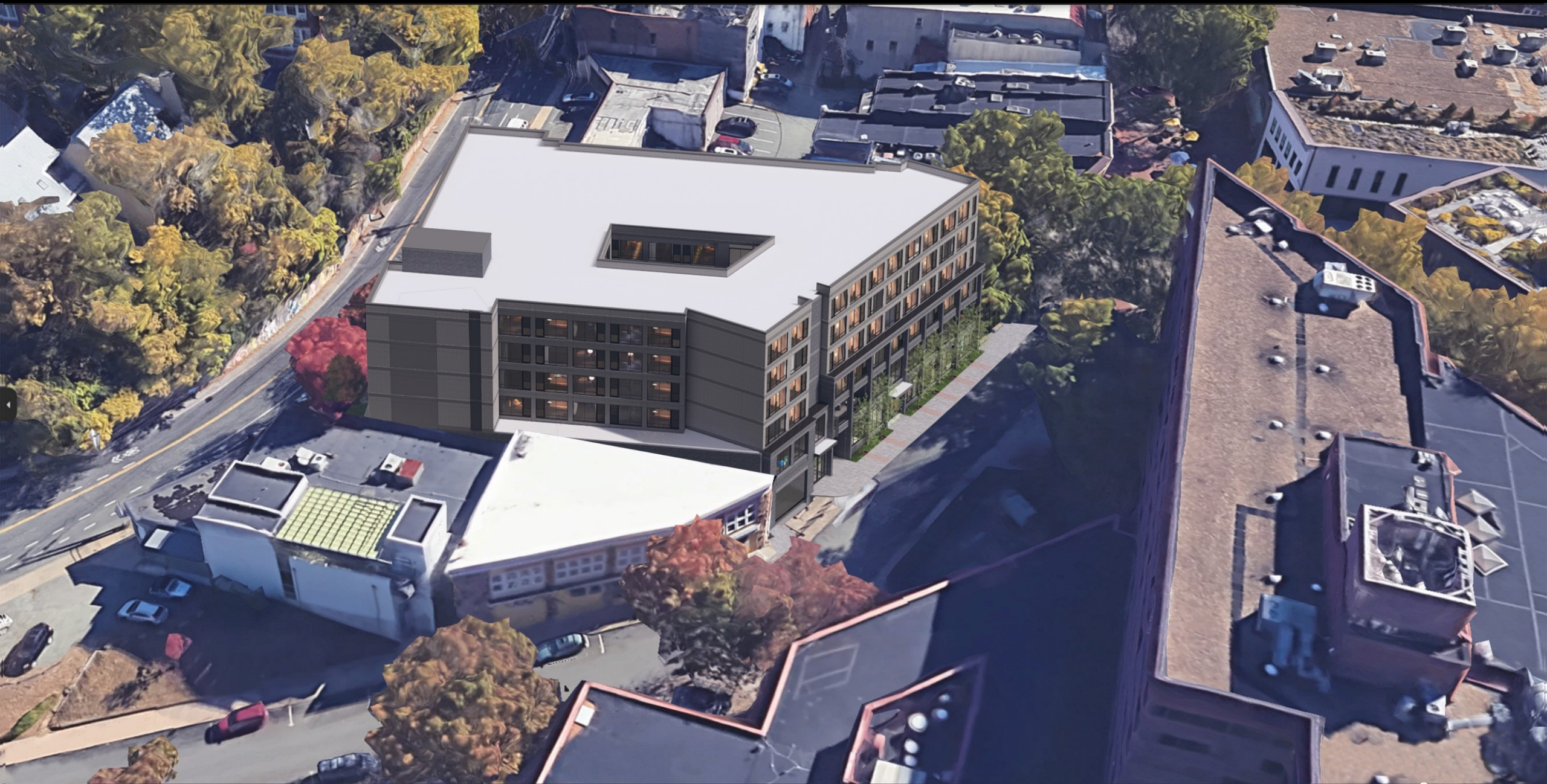
VisionGuard™ Curved Louvers are similar to the Slatted version but the face of each blade is curved to provide a more decorative style. Spacing between blades can be adjusted to any distance.



218 West Market Street

Design Develop renderings

June 3, 2025





218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3,
2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025







218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025



218 West Market St - Design Develop renderings June 3, 2025

**City of Charlottesville
Board of Architectural Review
Staff Report
June 17, 2025**



Pre-Application Conference

HST25-0081

555 17th Street; TMP 050059000

Rugby Road-University Circle-Venable ADC District

Owner: Pipson Properties LLC

Applicant: Wolf Ackerman Architects/Fred Wolf

Project: Rear addition



Background

Year Built: circa 1920. (Existing house to remain.)

District: Rugby Road – University Circle - Venable ADC District

Status: Contributing

Two -story Craftsman house covered in textured stucco, with a half-timbered front gable above a linear porch.

Prior BAR Reviews

No previous BAR reviews.

Application

- Applicant submittals: 555 17th St. NW – *BAR Proposal*, Wolf Ackerman Design; May 27, 2025, 14 sheets.

Preliminary discussion of a pending CoA request for construction of a three-story residential building at rear of existing house, with minor alterations to existing, rear elevation. Note: Per code section 5.2.7. Major Historic Review, B. Application Requirement, a pre-application conference [a *preliminary discussion*] with the entire BAR is mandatory for a development having a projected construction cost of \$350,000.00 or more.

Discussion

Objectives of a preliminary discussion: Introduce the project to the BAR; and allow the applicant and the BAR to establish what is necessary for a successful final submittal. That is, a final submittal that is complete and provides the information necessary for the BAR to evaluate the project using the ADC District Design Guidelines and related review criteria.

During a preliminary discussion the BAR may, by consensus, express an opinion about the project as presented. (For example, the BAR might express consensus support for elements of the project, such as its scale and massing.) Such comments will not constitute a formal motion and the result will have no legal bearing, nor will it represent an incremental decision on the required CoA.

In response to any questions from the applicant and/or for any recommendations to the applicant, the BAR should rely on the germane sections of the ADC District Design Guidelines and related review criteria. While elements of other chapters may be relevant, staff recommends that the BAR refer to the criteria in Chapter II--*Site Design and Elements* and Chapter III--*New Construction and Additions*. Of particular assistance, as a checklist for the preliminary discussion, are the criteria for *Additions* in Chapter III:

- Function and Size
- Location
- Design
- Replication of Style
- Materials and Features
- Attachment to Existing Building

The BAR should also consider the building elements and details necessary to evaluate the project. Renderings and schematics communicate mass, scale, design and composition; however a complete application should include details and specific information about the projects materials and components. For example:

- Measured drawings: Elevations, wall details, etc.
- Roofing: Flat, hipped, etc. Metal, slate, asphalt. Flashing details.
- Gutters/downspouts: Types, color, locations, etc.
- Foundation.
- Walls: Masonry, siding, stucco, etc.
- Soffit, cornice, siding, and trim.
- Color palette.
- Doors and windows: Type, lite arrangement, glass spec, trim details, etc.
- Porches and decks: Materials, railing and stair design, etc.
- Landscaping/hardscaping: Grading, trees, low plants, paving materials, etc.
- Lighting. Fixture cut sheets, lamping, etc.

Suggested Motions

Pre-application conference. No action will be taken.

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA “cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements.”

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:

- i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City’s design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City’s design guidelines and subject to the following limitations:
 - i. Along the Downtown Mall, the BAR may limit story height to within 2 stories of the prevailing story height of the block;
 - ii. In all other areas subject to review, the BAR may reduce the allowed height by no more than 2 stories; and
 - iii. The BAR may require upper story setbacks of up to 25’.

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City’s design guidelines.

Links to ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

[Chapter 4 Rehabilitation](#)

[Chapter 7 Demolition and Moving](#)

Chapter III – *New Construction and Additions*

Checklist from section P. Additions

- 1) Function and Size
 - a. Attempt to accommodate needed functions within the existing structure without building an addition.
 - b. Limit the size of the addition so that it does not visually overpower the existing building.
- 2) Location
 - a. Attempt to locate the addition on rear or side elevations that are not visible from the street.
 - b. If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.
 - c. If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.
- 3) Design
 - a. New additions should not destroy historic materials that characterize the property.
 - b. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 4) Replication of Style
 - a. A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.
 - b. If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.
- 5) Materials and Features
 - a. Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.
- 6) Attachment to Existing Building
 - a. Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.
 - b. The new design should not use the same wall plane, roof line, or cornice line of the existing structure.

May 27, 2025

Jeff Werner
BAR Board Members:

555 17th Street NW – Preliminary Discussion
Original house is 3 stories (Stucco) and has a maximum height measured to its main ridge of 34’-0” on the rear of the house.

The property is zoned RX-5 under Charlottesville’s Code of Development adopted December 2023. Under the ‘Base Allowance’ up to 5 stories and 72’ building height are permitted with no maximum requirement and a 10% Outdoor amenity requirement. The property has a Front Yard Setback requirement of between 5’ minimum and 15’ maximum, Side and Rear Yard Setback requirements of 0’ minimum, and an Alley Setback requirement of 5’ minimum. There is not limit on the number of swelling units permitted.

We proposed to add 2 new dwelling units (attached single family) that would each be 3 stories over a partially exposed basement level with a maximum building height of 37’-6” measured to the parapet (code only requires measurement to the flat roof). The two usings would form an “L-Shaped” configuration that would frame and anchor a south-facing terrace and landscape courtyard that can be shared by the new dwelling units as well as the residents of the existing house. A private garage below the elevated terrace and courtyard provide shared parking & storage for the 3 units.

We have intentionally placed the new building on the north side property line that the subject property shares with a UVA fraternity house’s parking lot and we have maintained a 5’ setback from the gravel alley at the rear of the property where most other properties park vehicles. Our intention is to have the alley serve as access for the private garage, as is typically the case. We plan to develop a new entry walk along the southern side of the existing house and its south property line to connect the sidewalk on 17th street to the raised terrace / courtyard and the entry porches that serve the two new dwelling units.

We are presenting preliminary massing and 3D to illustrate the concept and to request feedback from the BAR on this approach.
We look forward to our discussion in person and your feedback on June 17th. Thank you very much!

Sincerely,

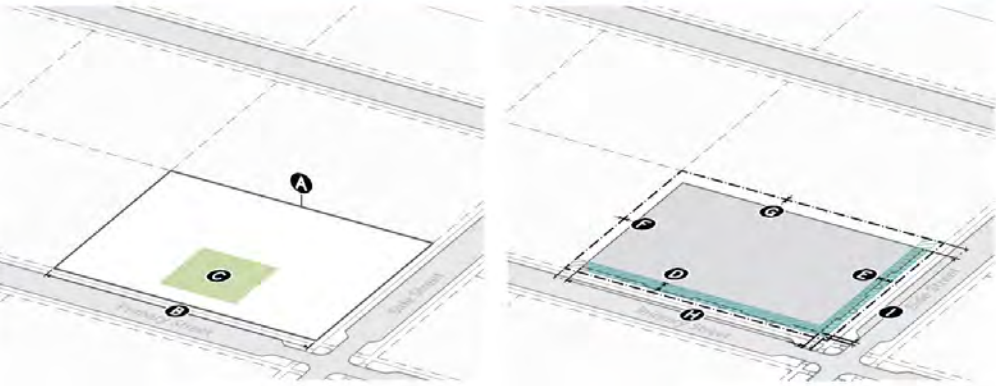
Frederick Wolf, AIA *Principal*



WOLF ACKERMAN LLC
wolfackerman.com | 434 296 4848
110-B Second Street NE; Suite 201
Charlottesville, Virginia 22902

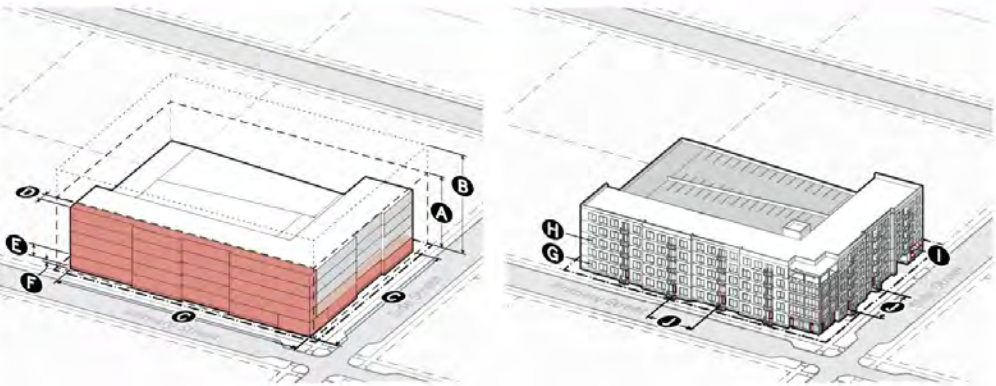
2.3.3. **RX-5** RESIDENTIAL MIXED USE 5

A. LOT



| 1. LOT SIZE | Sec. 2.10.2. | 4. BUILDING SETBACKS | Sec. 2.10.5. |
|-------------------------------|--------------|-------------------------------------|--------------|
| A Area (min) | None | D Primary street lot line (min/max) | 5' / 15' |
| B Width (min) | | E Side street lot line (min/max) | 5' / 15' |
| Front access | 40' | F Side lot line (min) | 0' |
| Side / rear access | 15' | G Rear lot line (min) | 0' |
| | | Alley lot line (min) | 5' |
| 2. DENSITY | Sec. 2.10.3. | 5. BUILD-TO | Sec. 2.10.6. |
| Dwellings per lot (max) | Unlimited | Build-to width (min) | |
| 3. COVERAGE | Sec. 2.10.4. | H Primary street | 75% |
| Building coverage (max) | None | I Side street | 45% |
| C Outdoor amenity space (min) | 10% | 6. TRANSITION | Sec. 2.10.7. |
| | | Transition type | Type B, C |
| | | 7. PARKING LOCATION | Sec. 2.10.8. |
| | | Front yard | Not allowed |
| | | Side street yard | Not allowed |
| | | Side yard | Allowed |
| | | Rear yard | Allowed |

B. BUILDING



| 1. HEIGHT | Sec. 2.10.9. | 4. TRANSPARENCY | Sec. 2.10.12. |
|--------------------------------------|---------------|-------------------------------------|---------------|
| Building height (max stories/feet) | | G Ground story (min) | 35% 30% |
| A Base | 5 / 72' | H Upper story (min) | 20% 20% |
| B With bonus | 7 / 100' | I Blank wall width (max) | 15' 25' |
| 2. MASSING | Sec. 2.10.10. | 5. ENTRANCES | Sec. 2.10.13. |
| C Building width (max) | 275' | J Street-facing entry spacing (max) | 40' 60' |
| D Active depth (min) | 9' | Entry feature | Yes Yes |
| 3. GROUND STORY | Sec. 2.10.11. | 6. FENCES AND WALLS | Sec. 2.10.14. |
| E Ground story height (min) | 10' | Front yard height (max) | 4' |
| F Finished floor elevation (min/max) | 0' / 6' | Side street yard height (max) | 6' |





Record Meridian
D.B.97 Pg.346 (A1b. Co.)



This drawing represents a current field run topographic survey.

The datum used for this survey was assumed.

Contour Interval = 1'

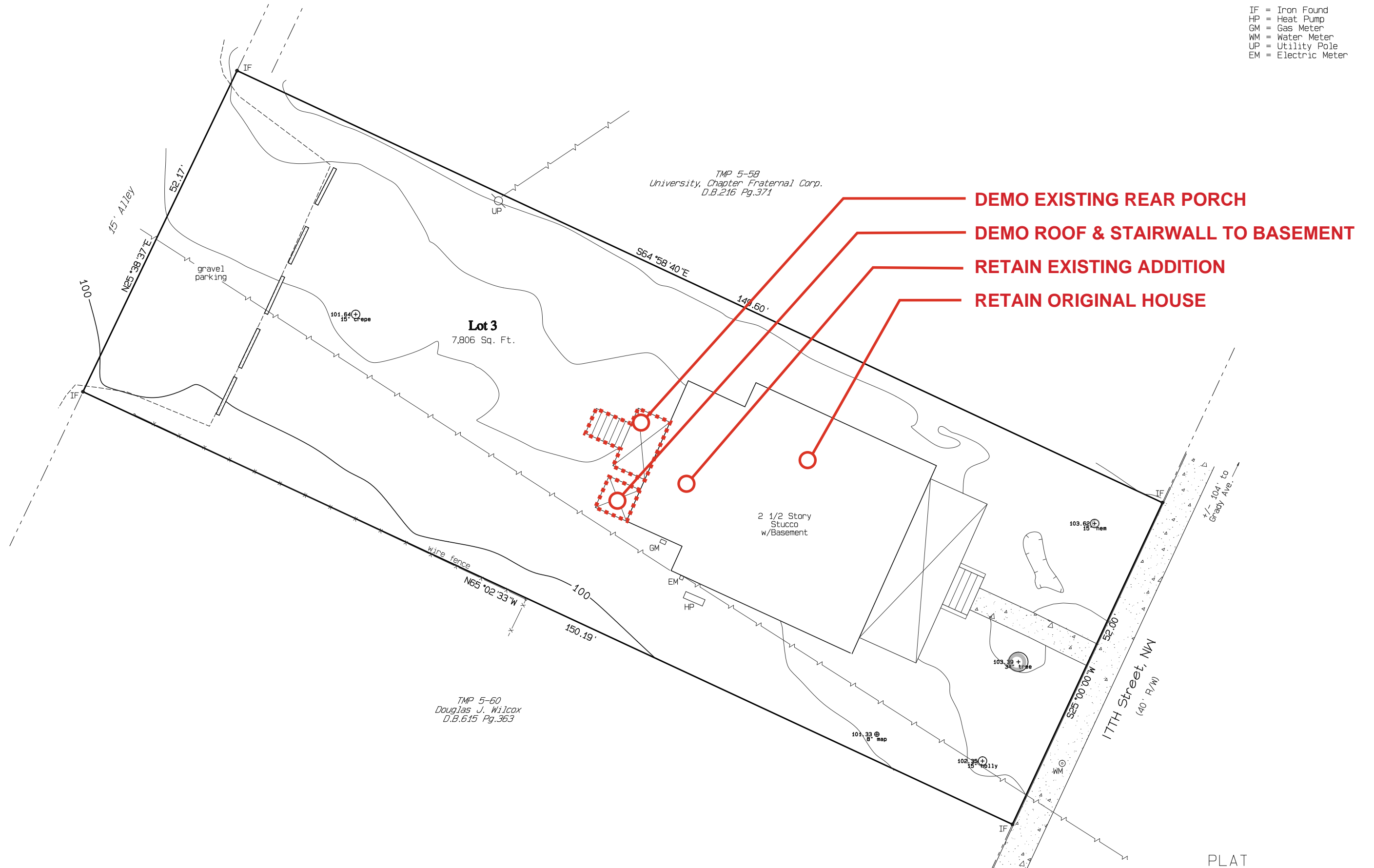
Survey performed without the benefit of a title report and may not indicate all encumbrances on the property.

The property lines shown are according to field evidence and plats of record.

Owners:
Pipson Properties LLC

Legal References:
Inst.# 2013:5751

IF = Iron Found
HP = Heat Pump
GM = Gas Meter
WM = Water Meter
UP = Utility Pole
EM = Electric Meter

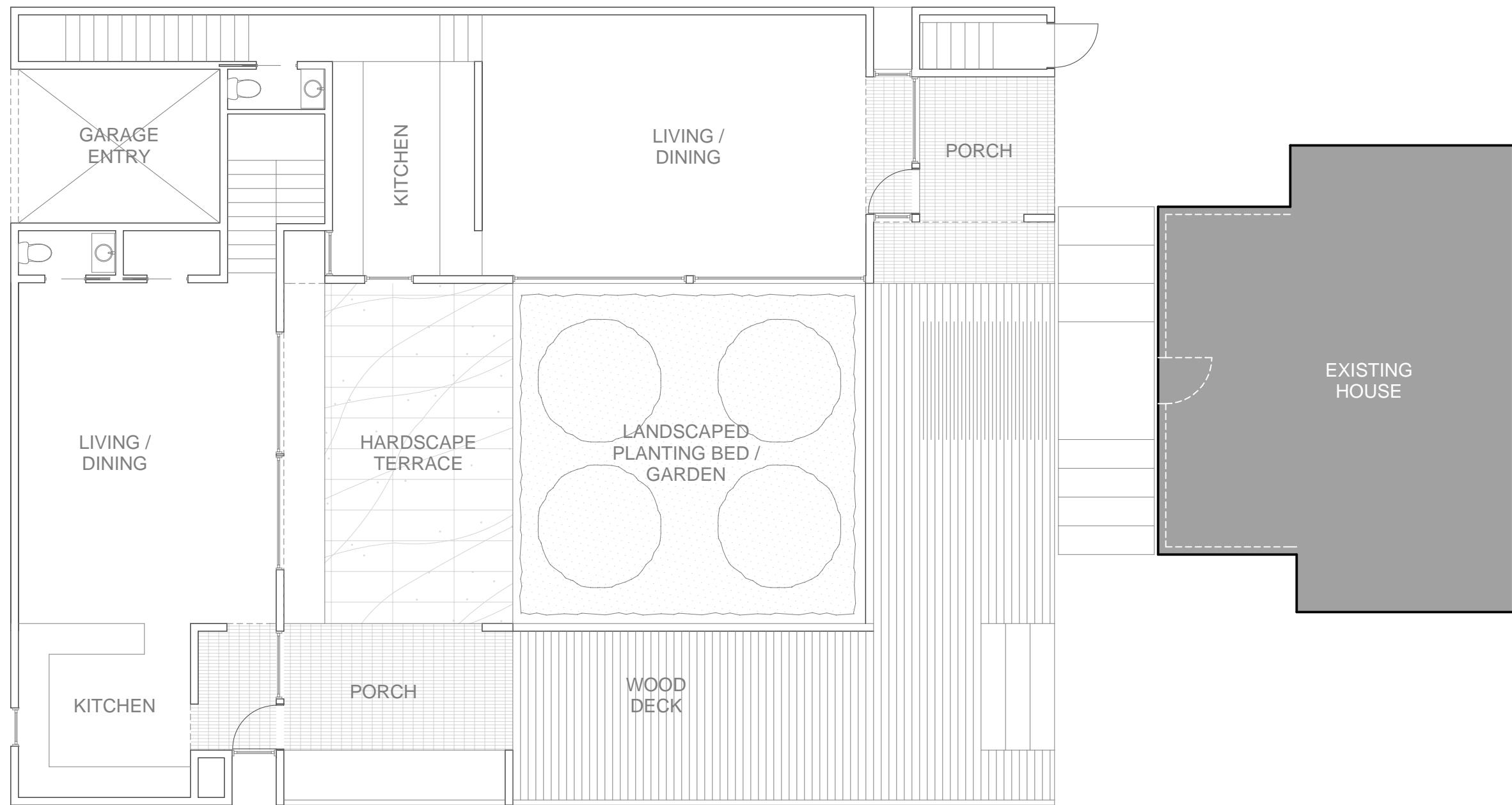




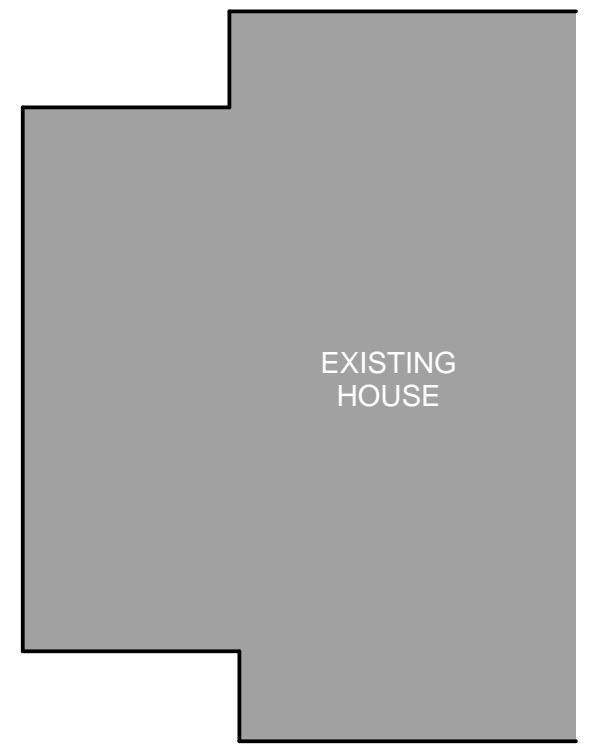
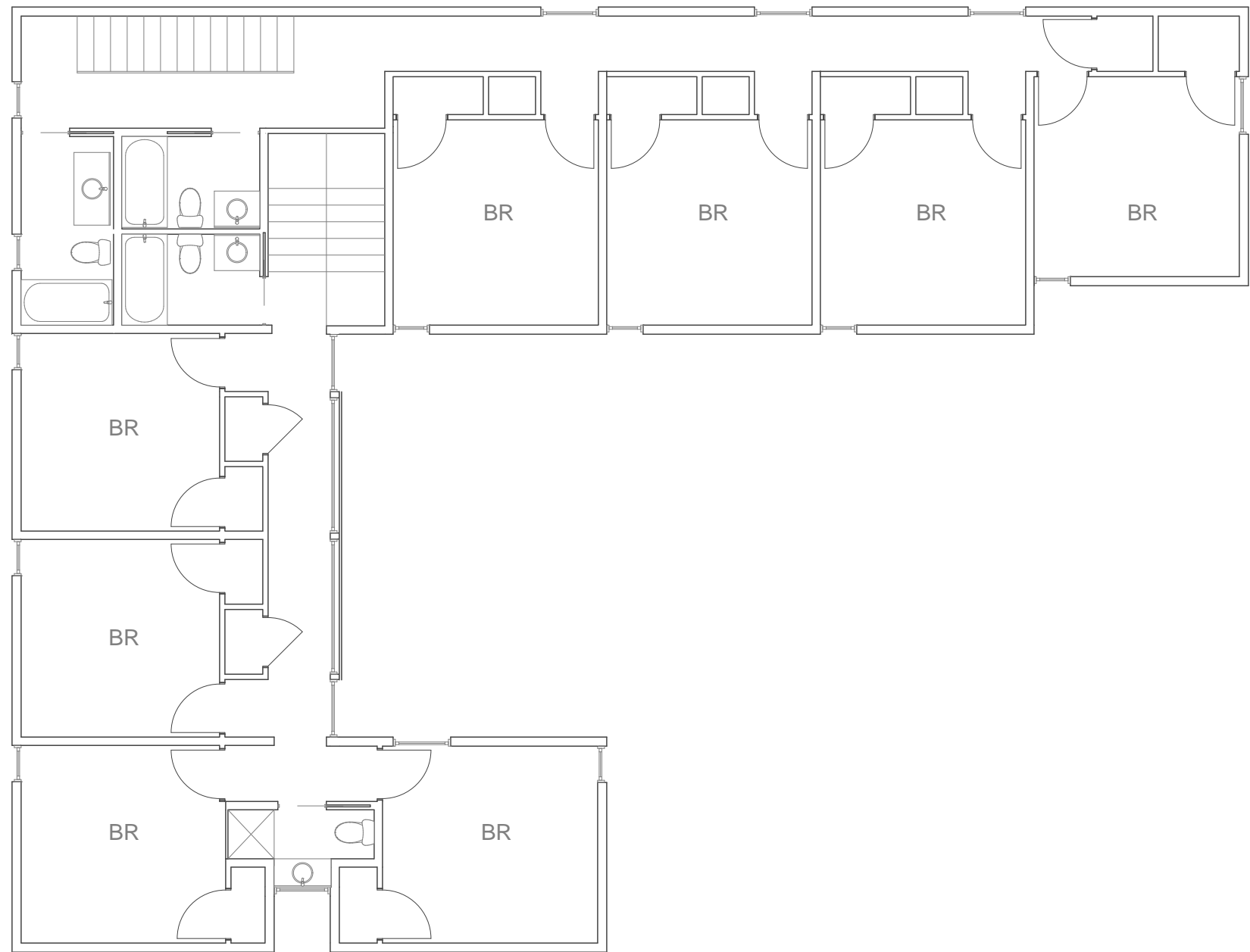




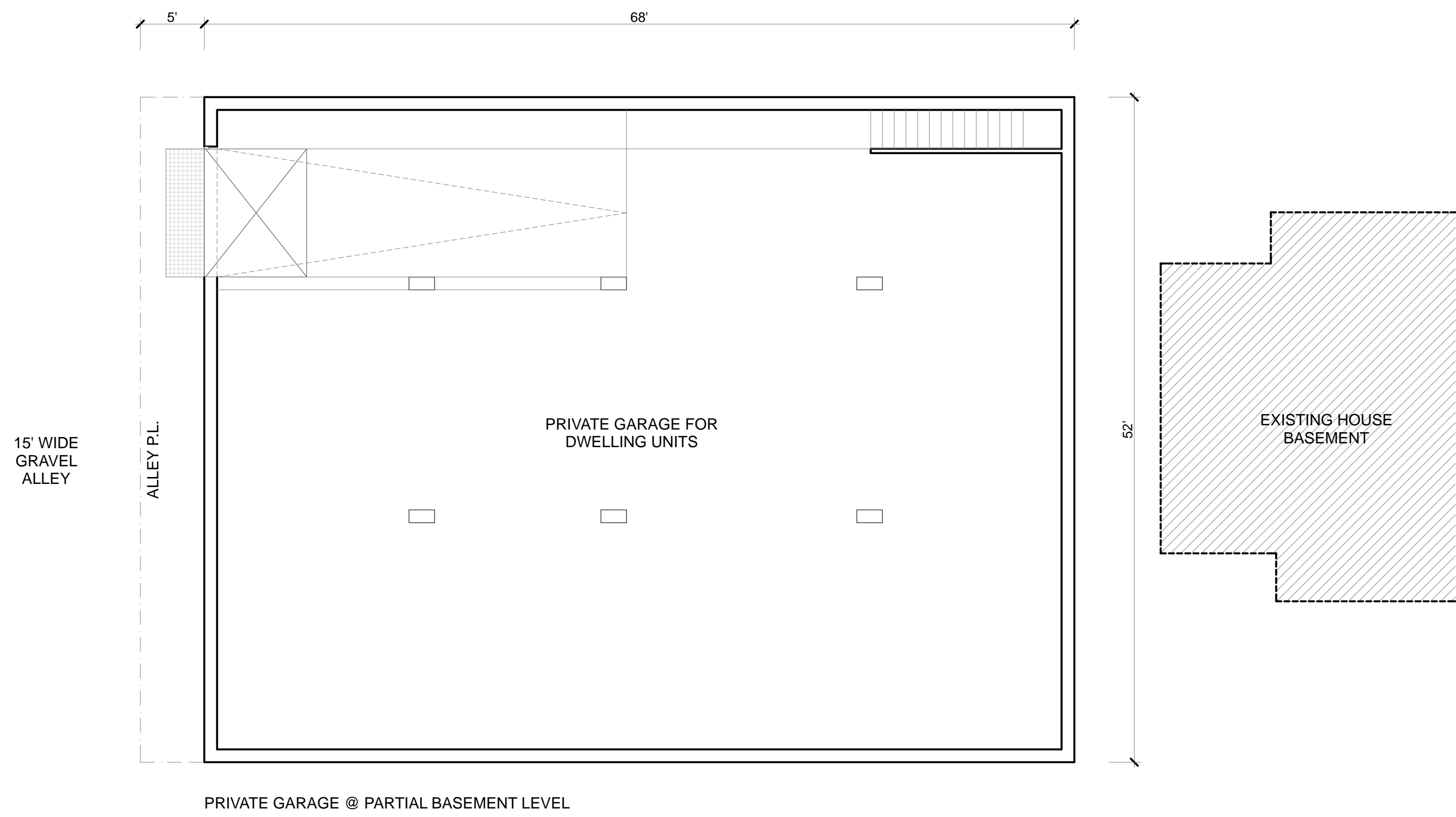


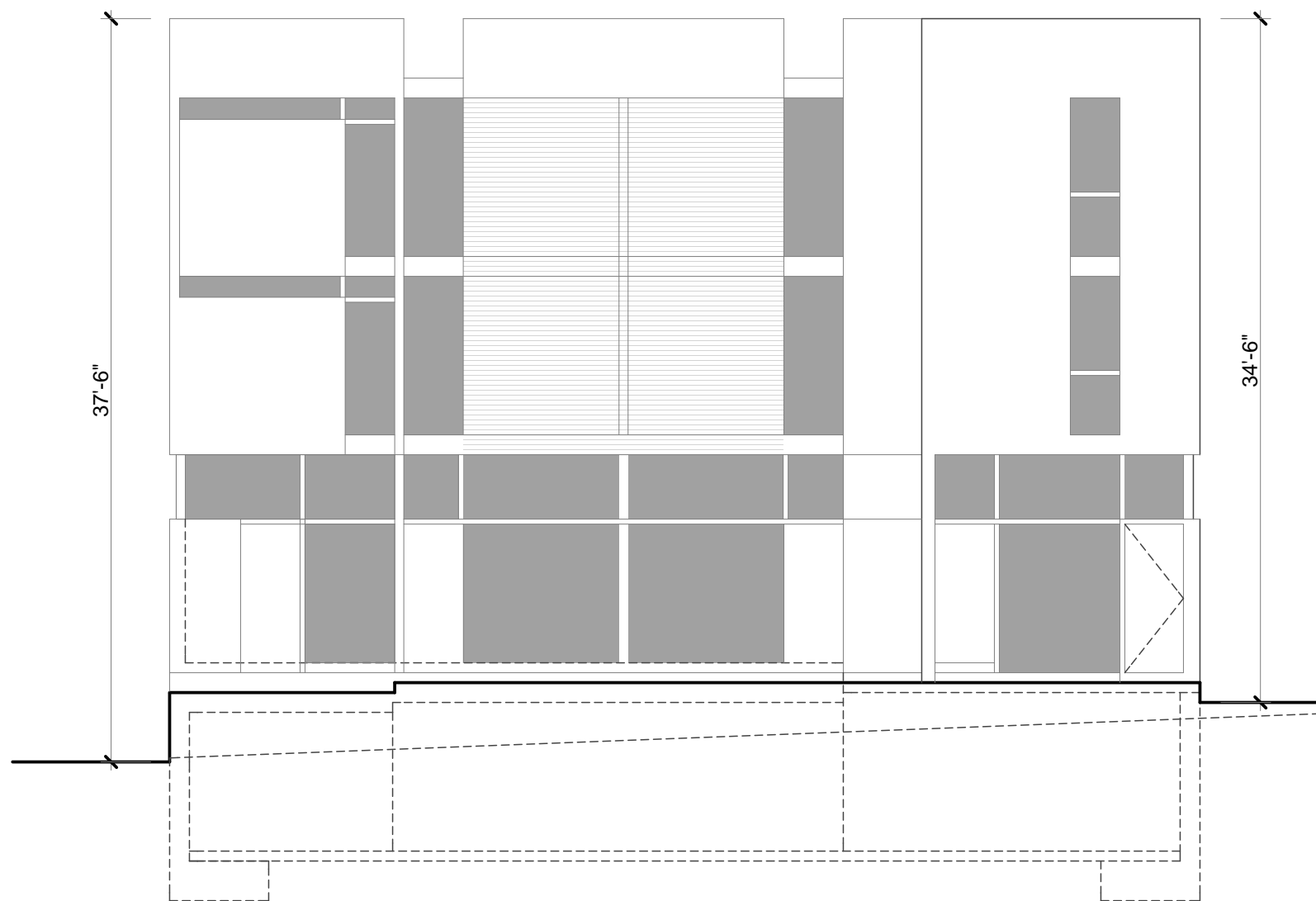


MAIN LIVING LEVEL W/ TERRACE & LANDSCAPED COUTYARD

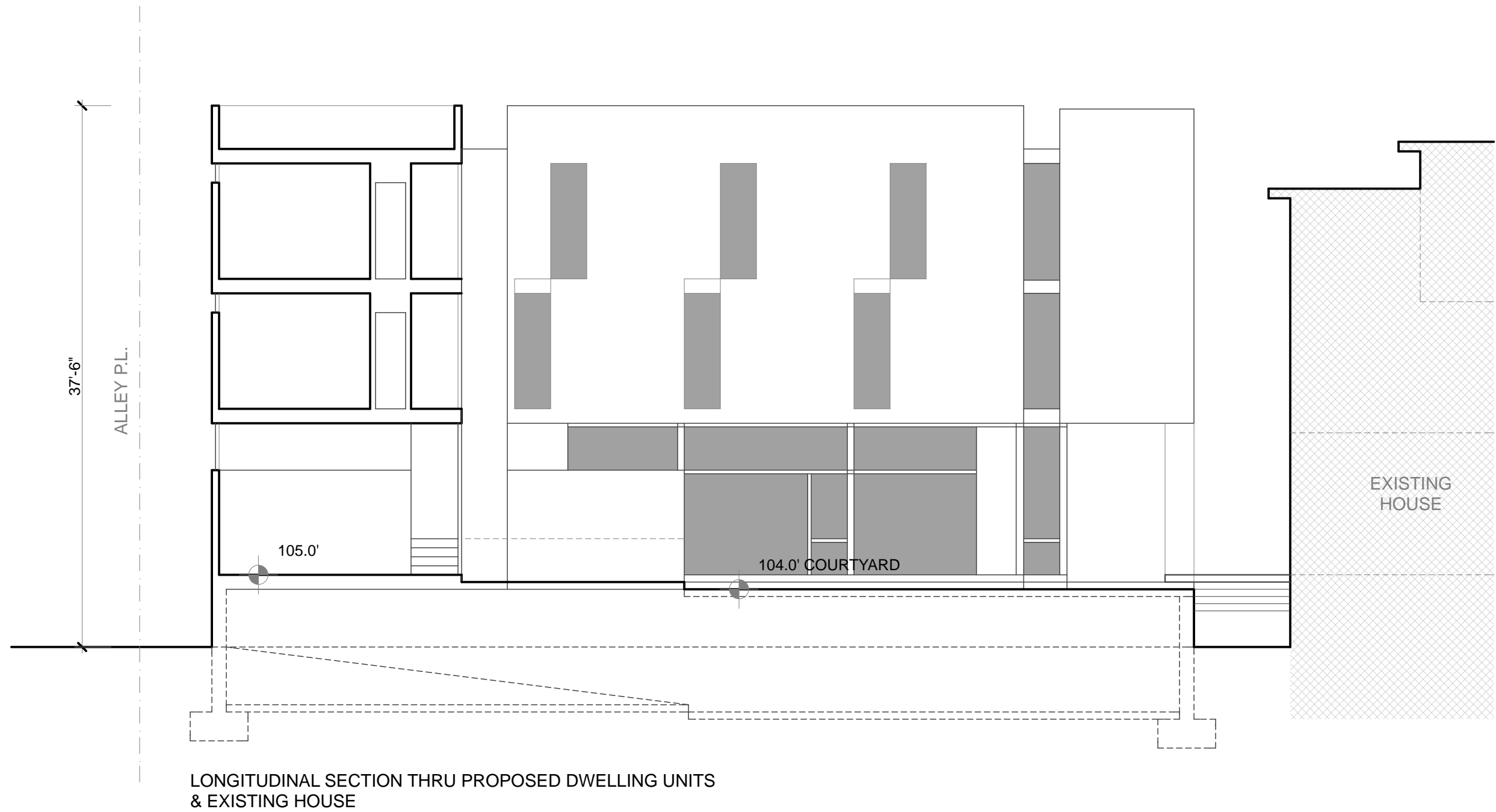


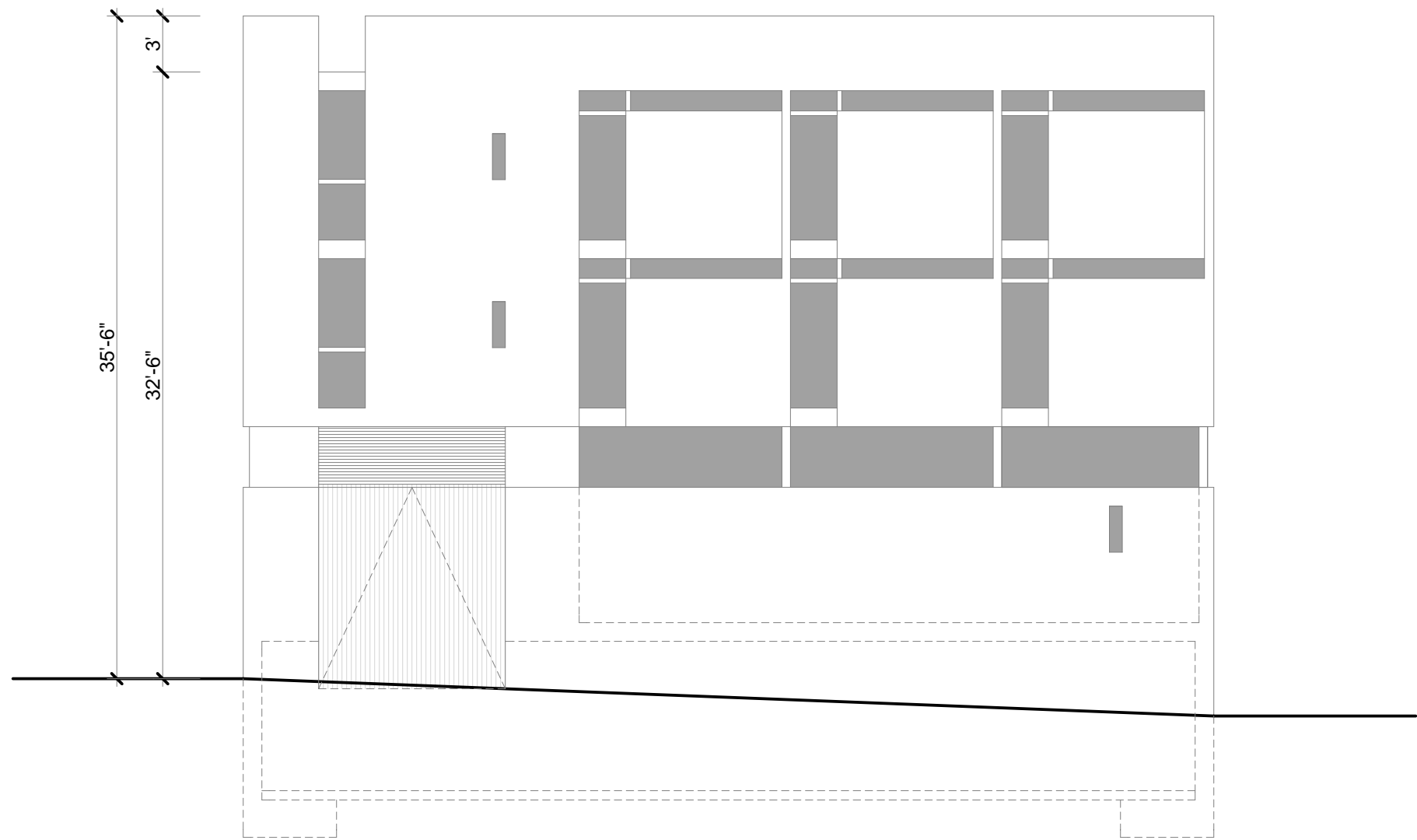
TYPICAL SLEEPING LEVELS





VIEW FROM EXISTING HOUSE





VIEW FROM ALLEY

**City of Charlottesville
Board of Architectural Review
Staff Report
June 17, 2025**



Pre-Application Conference

BAR # HST25-0084

202, 204, and 208 7th Street SW

204 & 208 7th Street SW - Individually Protected Properties

Owners:

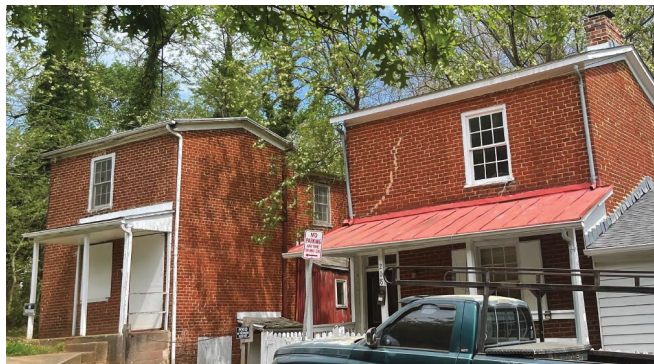
202: Monticello Media LLC

204: William Lynch & 204-7 LLC

208: Michael J. Christian

Applicant: Mitchell-Matthews Architects

Project: New multi-story, mixed-use building incorporating two IPPs



Background

204 7th Street SW: *Hawkins-Lee House*

Year Built: 1870s/1880s

District: IPP

208 7th Street SW: *Hawkins-Parker House*

Year Built: 1870s/1880s

District: IPP

204 and 208 7th Street SW were reportedly constructed between 1876 and 1889 by James B. Hawkins, who acquired the parcel in 1869. [A third house on the north side of 204 was razed prior to 1980.] Constructed as worker cottages in a simple form that was common in Charlottesville, the use of brick was atypical; however, Hawkins was a brick mason. (Hawkins lived at 529 Ridge Street, which is no longer standing.) 204 is associated Edmond Lee, a man of color born c1875. The Lee family owned and occupied the house from 1902 to 1955. 208 is associated Whit Parker, a man of color born c1880. The Parker family owned and occupied the house from 1902 to 1979.

The parcel at 202 7th Street SW was used as a commercial/industrial site as early as 1891, when it was a lumber yard. [The adjacent railroad was built in the 1850s.] In 1896, it was the Virginia Ice Company. site of the Virginia. In the early 20th century, it served the Charlottesville and Albemarle Railroad Company. Later a coal and wood lot, it transitioned to a tower site, which is no longer in use.

See the Sanborn Maps in the Appendix and the attached historical surveys.

Prior BAR Reviews

n/a

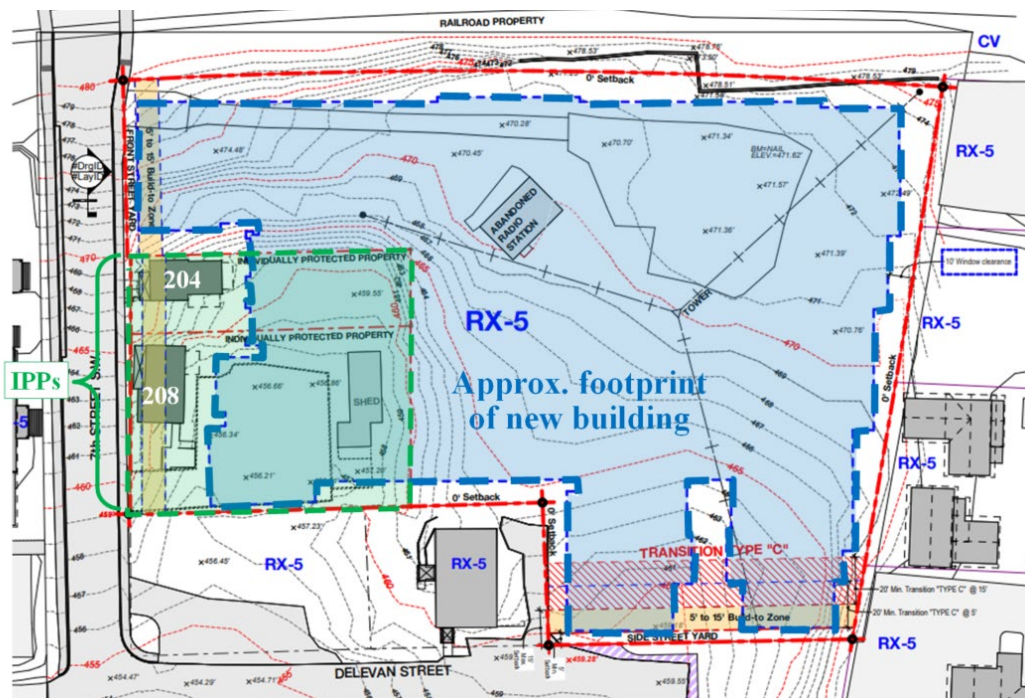
Application

- Applicant submittals:
 - *The Mark At Charlottesville – 202 7th Street SW* – BAR Pre-Application Conference, June 17, 2025; Mitchell Matthews Architects, 25 sheets.

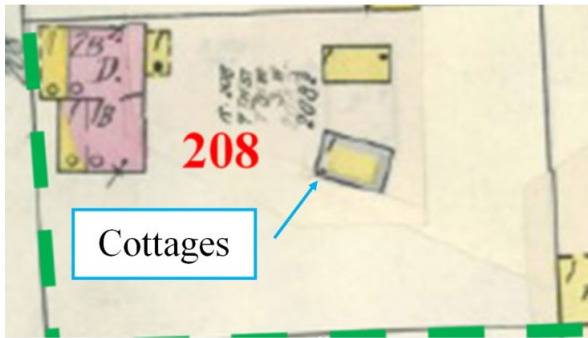
Pre-application discussion of a pending CoA request for construction of a multi-story building at the rear and encroaching onto the parcels of two IPPs (204 and 208). Note: Per code section 5.2.7. Major Historic Review, B. Application Requirement, a pre-application conference [a *preliminary discussion*] with the entire BAR is mandatory for a development having a projected construction cost of \$350,000.00 or more.

Discussion

The footprint of the proposed multi-story building will predominantly occupy the 1.2-acre parcel at 202 7th Street SW. This parcel is not within a City-designated design control overlay district. The western portion of the building will encroach onto approximately 60% of the two, small IPP parcels. (204 is 0.1 acres; 208 is 0.2 acres.) With the overall development impacting the IPPs, the entire project is subject to design review by the BAR.



The two, existing brick dwellings will be retained, rehabilitated, and incorporated into the planned development. A wood-framed shed at the rear of 208 will be razed and minor elements on each dwelling will be removed. Notes in the VCRIS file for the property suggest the shed incorporates two rental cottages constructed in the 1940s; however, this is reported as anecdotal, and the current shed does not correspond to the sizes, locations, or orientations of the cottages as indicated on the c1960s Sanborn Map.



Staff cannot determine if the shed is historic or if was built either incorporating the cottages or using elements from the reported c1940s cottages. Photographs suggest the shed is deteriorated. The minor elements to be removed from the two houses are limited in area relative to the houses. Staff recommends this project be evaluated in three parts, each requiring separate, but possibly concurrent CoAs.

- 204 7th Street, SW: Review as an *alteration/rehab* CoA the demolition/removal of exterior elements and the rehabilitations and alterations necessary to incorporate the structure into the development project.
- 208 7th Street, SW: Review as an *alteration/rehab* CoA the demolition/removal of exterior elements, the demolition of the shed, and the rehabilitations and alterations necessary to incorporate the structure into the development project.
- 202, 204, and 208 7th SW: Review the proposed multi-story and related landscaping as *new construction* associated with two designated IPPs. [That is, not evaluated as an *addition*.] This approach would be similar to evaluating new construction within a district that is adjacent to and would impact contributing structures; if not physically, then contextually. In preparing this submittal, staff suggested the applicant consider the BAR's review of the Quirk Hotel, which retained and incorporated two historic dwellings. Other examples of large-scale projects that either incorporated or were adjacent to historic structures include:
 - 1301 Wertland Street: multi-story residential building adjacent to the c1842 Wertenbaker House
 - City-County Courts Expansion: courthouse addition to the Levy Building.
 - C&O Row: row-house construction adjacent to the Coal Tower.
 - 550 East Water Street: multi-story residential building adjacent to the King Warehouse and train station.
 - 946 Grady Avenue: Rehabilitation of the Monticello Dairy with connected and adjacent new construction.
 - J&DR Court, East High Street: Rehabilitation and expansion of historic structure adjacent to historic County Jail.

Note: Prior to formally reviewing an application, staff can coordinate a site visit for the BAR.

Objectives of a preliminary discussion: Introduce the project to the BAR; and allow the applicant and the BAR to establish what is necessary for a successful final submittal. That is, a final submittal that is complete and provides the information necessary for the BAR to evaluate the project using the ADC District Design Guidelines and related review criteria.

During a preliminary discussion the BAR may, by consensus, express an opinion about the project as presented. (For example, the BAR might express consensus support for elements of the project, such as its scale and massing.) Such comments will not constitute a formal motion and the result will have no legal bearing, nor will it represent an incremental decision on the required CoA.

In response to any questions from the applicant and/or for any recommendations to the applicant, the BAR should rely on the germane sections of the ADC District Design Guidelines and related review criteria. While elements of other chapters may be relevant, staff recommends that the BAR refer to the criteria in Chapter 2--*Site Design and Elements*, Chapter 3--*New Construction and Additions*, Chapter 4--*Rehabilitation*, and, as appropriate, Chapter 7 --*Demolitions*.

Of assistance are the following criteria from Chapter 3:

- Setback
- Spacing
- Massing & Footprint
- Height & Width
- Scale
- Roof
- Orientation
- Windows & Doors
- Porches
- Foundation & Cornice
- Materials & Textures
- Paint [Color palette]
- Details & Decoration

Elements:

- Roof
- Gutters & Downspouts
- Exterior walls
- Trim
- Doors & Windows
- Lighting
- Screening (HVAC, utilities)
- Railings
- Balcony details
- Plantings/Landscaping
- Patios & walks
- Public spaces

The BAR should also consider the building elements and details necessary to evaluate the project. Renderings and schematics communicate mass, scale, design and composition; however, a complete application should include details and specific information about the project's materials and components. For example:

- Measured drawings: Elevations, wall details, etc.
- Roofing: Flat, hipped, etc. Metal, slate, asphalt. Flashing details.
- Gutters/downspouts: Types, color, locations, etc.
- Foundation.
- Walls: Masonry, siding, stucco, etc.
- Soffit, cornice, siding, and trim.
- Color palette.
- Doors and windows: Type, lite arrangement, glass spec, trim details, etc.
- Porches and decks: Materials, railing and stair design, etc.
- Landscaping/hardscaping: Grading, trees, low plants, paving materials, etc.
- Lighting. Fixture cut sheets, lamping, etc.

Suggested Motions

Pre-application conference. No action will be taken.

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA “cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements.”

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City’s design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City’s design guidelines and subject to the following limitations:
 - i. Along the Downtown Mall, the BAR may limit story height to within 2 stories of the prevailing story height of the block;
 - ii. In all other areas subject to review, the BAR may reduce the allowed height by no more than 2 stories; and
 - iii. The BAR may require upper story setbacks of up to 25’.

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;

- v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
- vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
- viii. Any applicable provisions of the City's design guidelines.

Links to ADC District Design Guidelines

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

[Chapter 4 Rehabilitation](#)

[Chapter 5 Signs, Awnings, Vending, and Cafes](#)

[Chapter 6 Public Improvements](#)

[Chapter 7 Demolition and Moving](#)

From ADC District Design Guidelines, Chapter 3: New Construction. Criteria specific to *Setback, Spacing, Massing & Footprint, Height & Width, and Scale*:

Building Types within the Historic Districts

- Traditional commercial infill buildings are the forms that fill in holes in a larger block of buildings in the downtown mall or in certain areas of the West Main Street corridor. This type of building generally has a limited setback, attaches to or is very close to neighboring structures, and takes many of its design cues from the adjoining buildings. Its typical lot width would be 25 to 40 feet.

Setback

- Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.
- Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.
- Modify setback as necessary for sub-areas that do not have well-defined street walls.
- Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.

Spacing

- Commercial and office buildings in the areas that have a well-defined street wall should have minimal spacing between them.

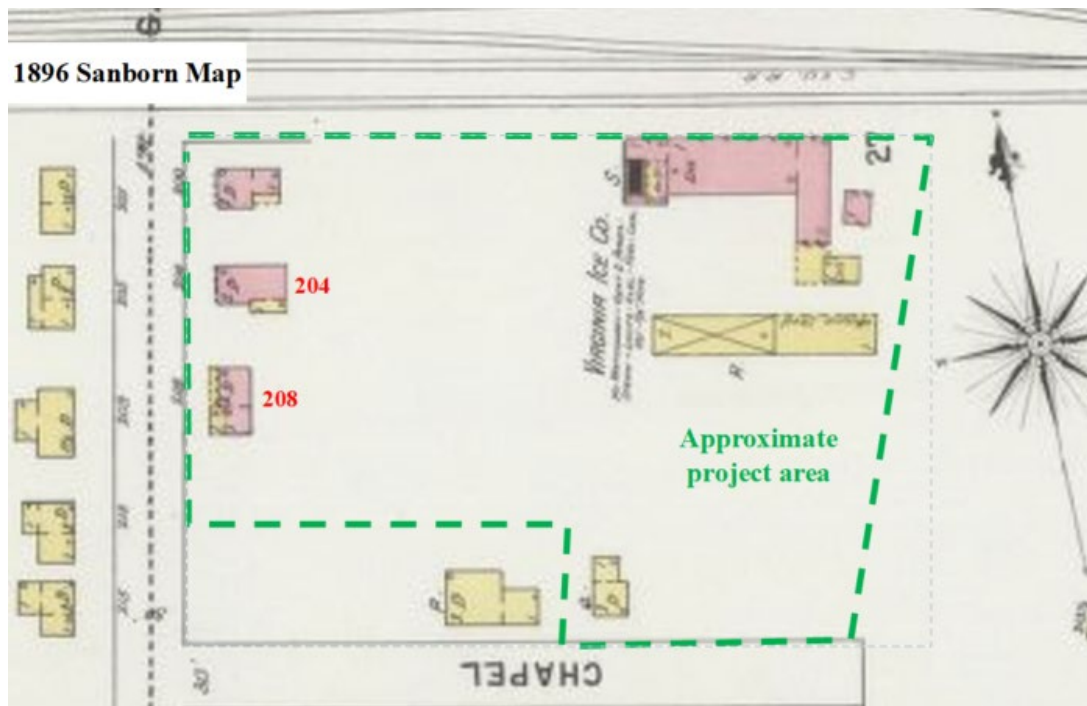
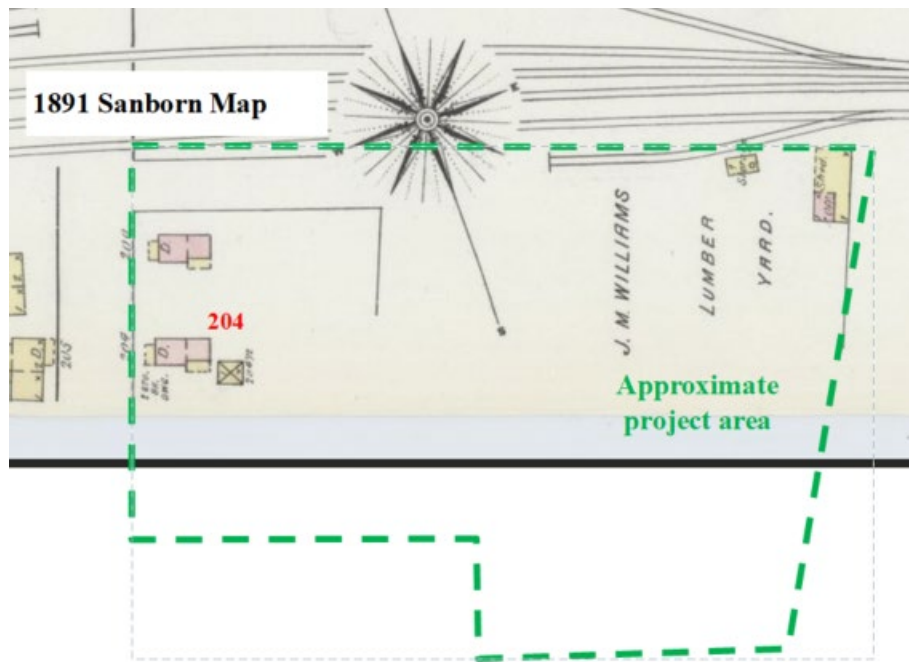
Massing & Footprint

- New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.

Height & Width

- Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.
- Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.
- In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. [...] Additional stories should be stepped back so that the additional height is not readily visible from the street.
- When the primary façade of a new building in a commercial area, such as downtown [...] is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.
- Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.

APPENDIX



Architectural And Historic Survey



Identification

STREET ADDRESS: 204 Seventh Street, SW

MAP & PARCEL: 29-73

CENSUS TRACT AND BLOCK:

PRESENT ZONING: M-1

ORIGINAL OWNER: James H. Hawkins

ORIGINAL USE: Rental Property (Residential)

PRESENT USE: Residence

PRESENT OWNER: Alice Walker

ADDRESS: 204 Seventh Street, SW
Charlottesville, VA 22901

HISTORIC NAME: Hawkins-Lee House

DATE / PERIOD:

STYLE: Vernacular

HEIGHT (to cornice) OR STORIES: 2 storeys

DIMENSIONS AND LAND AREA: 34' x 120' (4080 sq. ft.)

CONDITION: Fair

SURVEYOR: Bibb

DATE OF SURVEY: Spring 1984

SOURCES: City/County Records City Directories
1877 Gray Map
Sanborn Map Co. - 1896, 1907, 1920

ARCHITECTURAL DESCRIPTION

This worker's cottage and the one next door, the survivors of a group of three, are early examples of a form very common in the city at the turn of the century. Nearly all others, however, were of frame construction. This cottage is two storeys tall, single pile, and two bays wide at the first level and one at the second. A 2-storey rear addition makes the house double pile. It is set on a high foundation of brick laid in 7-course American bond. Wall construction is of brick laid in 7-course American-with-Flemish bond on the facade and in 7 & 9-course American bond on the side elevations and in the addition. The main block has a low-pitched gable roof covered with standing seam metal, with projecting eaves and verges and a boxed cornice. The roof of the rear addition is nearly flat. There is a capped chimney interior to the rear wall of the main block. Windows throughout the house are double-sash, 6-over-6 light, with plain trim. Basement windows are 6-light hinged sash. There is a board-&-batten basement door on the south side of the main block. A one-storey porch covers the facade. It has a steep shed roof covered with composition roofing, supported on square piers. There is no frieze. Several types of balustrade are used; including a simplified Chinese Chippendale. The Sanborn maps indicate that the porch was extended along the south side of the main block c. 1907-1920. That section has since been removed. The entrance door in the southern bay of the facade has four lights over a panel. There is a 2-light rectangular transom. A one-storey porch with a steep shed roof on the south side of the rear addition has been enclosed and covered with imitation brick composition siding.

HISTORICAL DESCRIPTION

James B. Hawkins purchased a section of the Delevan Hotel property in 1869 (ACDB 64-170). According to tax records, he built three brick houses there between 1876 & 1889. He sold the northern two houses to Annie E. Chisholm in 1899 (CityDB 10-123). The property was sold twice more before Edmond Lee purchased this cottage, the center one of the group of three, in 1902 (9DB 12-133, 13-20, 13-295). The Lee family owned and occupied the house for many years until the children of Edmond Lee sold it in 1955 to J. L. Hartman (DB 189-416), who sold the next year to Frank B. Johnson (DB 189-450). After his death, Alice Walker bought the shares of the other heirs and obtained full ownership in 1966 (WB 9-238, DB 273-275).

29-23 ✓

34 x 120
M-1

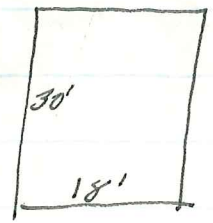
#504

204 7th St SW

| | | | |
|----------|-----------------------|------------|------|
| 273-275 | Alice Walker | (same add) | 1966 |
| WB 9-238 | Frank B. Johnson est. | | 1962 |
| 189-450 | " " | — | 1956 |
| 189-416 | J. L. Hartman | | " |
| 13-295 | Edmond Lee | | |

(bought out other ^{Johnson} heirs)
Chancellor Johnson

2.5 ~~acres~~, 1-bam, 6 rooms
brick found. & walls, asphalt shingle gable roof (was corrugated metal)
0 fireplace
"old", cheap constr
1974 - furnace
1966 - replace roof of stoop



120
x 34
480
360
4080

Sanborn summary:

present form by 1896

porch added on S side central block ~~at~~ 1901-1920, gone now

City Directories

1953 - rented

1913-14

1910-11 - Edw. Lee - 204 7th

1970-

1927 - Edmund (transferrin) + Mollie Lee - 204 7th SW

1936, 40, 47

" "

" "

; also b'ides Lee

204 7th St SW

189-416 Edw H & Addie M Lee, John W & Carrie Lee, Clever L & Beatrice Lee,
12/22/1955- Carrie W Lee (wid. Cides E), Mamie Lee Wood (wid. Hampton Lee),
Hampton Lee Jr, Herman Lee, Hattie H. Lee (wid. Doffers),
Henrietta L & Wm. Scott → J L Hartman

204 7th St SW, 34' X 120'

same as 13-295

Edmond Lee der many yr ago, wife der. 1935-

13-295 H P & Sadie R Porter → Edmond Lee #650

11/25/1902 lot w/ bldgs & impts on E side 7th SW, #204
34' X 120'

southern part of 13-20

13-20 W B & Maud H Gardner → H P Porter #1200

4/21/1902 lot 84' on E side 7th SW X 120', w/ 2 brick houses
same as 12-133

12-133 Annie E & W B Chisholm → W B Gardner #1200

10/1/1901 lot 84' X 120' on E side 7th SW w/ 2 brick houses
same as 9/1/1899, for James B Hawkins
rest of lot after Hawkins sold 2 lots to Morris & Va DeLo
see plat 7-16

10-123 James B & Mary A Hawkins → Annie E Chisholm #1200

9/1/1899 84' X 120' lot on 7th SW w/ 2 brick residences

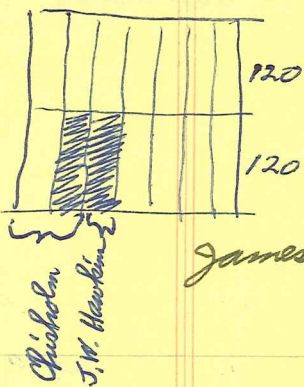
> 1876 1 acre = 43,560 sq ft
 < 1891 1 road = 10,880 " "
 13 poles = 1,183 " "
 55,633 " "
 orig 188' x 240' = 45,120 sq ft
 - 43,560
 1,560
 4th SW 55,633
 - 43,560
 12,073 2# > 1.2 ac, < 1 1/4 ac
 1871 James B. Hawkins 1/2 ac 1/4 mi SW + 400 = 500
 " " 1/4 ac " " - = 45

1872, 73, 74 15,76 J. B. Hawkins & Delevan + — = 632 for J. H. Locke est

1889, 90 4th J. B. Hawkins 5 side main + 1200 = 1500
 1891, 94 " " " " " + 2000 = 2100
 1891, 94 " " 5 side C & O + 1200 = 1500
 1895 " " " " Main + 3500 = 4000 3 houses
 1895 " " " " C & O + 1200 = 1800
 1896 " " " " " + 400 = 1000
 1896 " " " " " + 600 = 800 for J. B. Hawkins

1899 J. B. Hawkins 5 " ice factory 200 + 200 = 400 Dave Washington to pay
 1899 " " 5 " cross st 300 + 700 = 1000
 1900 " " nl
 " Annie E. Chisholm E " " " " " for J. B. Hawkins

1888, 89, 92 18, 17, 80 J. B. Hawkins 3/4 ac (1/2 mi S) 500 + 1300 = 1800 1885: off 1/2 ac Wm B. Hawkins
 " " " " 1 1/2 " " + 1200 = 1500 Chisholm to create
 " " " " 1/4 " " + 100 = 250
 " " " " lot + 2000 = 2100
 1885 " " " " " + 200 = 200 1/2 ac - Wm B. Hawkins
 1888 " " " " 1 1/2 ac 1/4 mi W + 200 = 500
 " " " " 1/4 " 1/4 mi W + 0 = 150
 1878, 77, 80 " " 1 3/4 ac " Delevan + 0 = 350 for R. Shaw
 " " 80 " " 1/4 " " " + 800 = 1000
 1877, 78, 79 " " 1 ac 1 road 137 Delevan + 0 = 532 1/2 ac - Margaret H. Hawkins
 1880 " " 1 ac + 0 = 400
 " " " 3/3 + 0 = 375
 " " 1 1/2 nl



1881 X 240'

James B. Hawkins

Chisholm

James W. Hawkins

200

204

208

| | | | |
|------|---|--------------------------|-----------------|
| 1894 | | 300 + 1200 = 1500 | |
| 1895 | | 600 + " = 1800 | |
| 1896 | | 300 + 700 = 1000 | 200 + 600 = 800 |
| 1897 | | | |
| 1898 | | | |
| 1899 | " | " | " |
| 1900 | 0 | 300 + 700 = 1000 | |
| 1901 | | (2 houses) 84' X 120' | |

| | | | | |
|---------|------------------|---------|-----------|-----------|
| 1872-76 | James B. Hawkins | Teleman | + 0 = 632 | for Locke |
| 1877-79 | " | " | 100 X 130 | " = 532 |

| | | | | |
|-----------|-------------------|---|---------------|-----------------------------------|
| 1889-94 | " | " | 505 side (40) | + 1200 = 1500 |
| 1895 | " | " | " | " = 1800 |
| 1896-1899 | " | " | " | + 700 = 1000 |
| " | James W. | " | " | + 600 = 800 |
| | | | | + 1300 = 1800 } for J.B. Hawkins |
| 1900 | James B. | " | ml | |
| " | Annie E. Chisholm | | | 300 + 700 = 1000 for J.B. Hawkins |

chim³
window trim

204 7th SW

2-5, 2-bay (1st, 1 2nd), single pile, w/ 2-5 rear wing
making double pile

high found 7-c am

7²-9 c am bond sides, 7-c am w/ 5-lm facade

low-pitched gable roof, proj eaves & verges, 55m,
boxed cornice

1 end chim (N)

windows 6/6 w/

1-5 veranda covers facade

steep shed roof, roll roofing

fringe

pl sq pier, w/ a variety of railing types, incl simplified
Chin. chg.

ent door in 5 bay - 2-l rect transom
4 l / panel, moulded trim

basement w/ 6-l hinged sash, door 5 6 & 6

int chim rear w/ sm cap

$$\begin{array}{r} 91 \\ \times 13 \\ \hline 273 \\ 91 \\ \hline 1183 \end{array}$$

$$\begin{array}{r} 50.96 \\ 50.75 \\ \hline 21 \\ 2.7 \\ \hline 53.41 \end{array} \quad \begin{array}{r} 30.25 \\ + 3 \\ \hline 30.75 \end{array}$$

2-3 rear wing of basement
nearly flat roof

4-7 dm band

windows match

steep shed-roofed porch on S side end of brick tarpaper

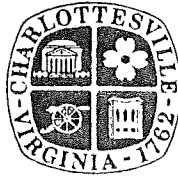
| | | | | |
|----------------------|------------------|---------|---------|--|
| 1880, 82, 86, 83, 84 | James B. Hawkins | 3/4 a | 1/4 m S | + 1500 = 1800 |
| " - | " " | 1/4 a | " " | + 800 = 1000 |
| " 82, 83, 84 | " " | 2/3 a | " " | + - = 250 |
| " 82, " " | " " | 1 a | " " | + - = 400 ^{1/2 a → King, Hawkins} |
| " 81 - | " " | 1 3/4 a | " " | + - = 350 |
| 1882, 83, 84 | " " | 1 1/2 a | 1/4 m W | + 200 = 511 ^{1/8 → Wm Gibbons} |
| " " " | " " | 1/4 a | " " | + 9 = 150 |
| " " " | " " | lot | 1/2 W | + 1050 = 1200 |
| " " " | " " | " | " " | + 325 = 1400 |
| 1886, 88 | " " | 1 1/2 a | " " | + 900 ¹²⁰⁰ = 1511 |
| " " | " " | 1/4 | " " | + 100 = 250 |
| " " | " " | lot | | + 2000 = 2100 |

| | | | | |
|-----------|------------------|----------------------------|----------------------------|--|
| 1872-1876 | James B. Hawkins | 8 eleven | 632 + 0 = 632 | flocke |
| 1877-1879 | " " | 1 a 1 x 13 p | 532 + 0 = 532 | |
| 1880-1881 | " " | 1 1/2 a 1/4 m W | 311 + 200 = 511 | |
| 1882-1884 | " " | 1 1/2 a | 1/4 m W | 311 + 200 = 511 ^{1/8 → Gibbons} |
| " " | " " | " | " | |
| 1885-1888 | " " | " | " | 311 + 1200 = 1511 |
| 1889-1895 | " " | 5 side main | 0 + 0 | 300 + 1200 = 1500 |
| 1896-1899 | " " | " | " | 300 + 700 = 1000 |

| | | | | |
|------|-------------------|-------------|------------------|---------------------------------|
| 1886 | James W. Hawkins | " | " | 200 + 600 = 800 for J B Hawkins |
| 1899 | James B. Hawkins | E side vane | 300 + 700 = 1000 | |
| 1890 | " " | n l | | |
| 1900 | Annie E. Chisholm | E side vane | 300 + 700 = 1000 | for J B Hawkins |



Architectural And Historic Survey



Identification

STREET ADDRESS: 208 Seventh Street, SW
 MAP & PARCEL: 29-74
 CENSUS TRACT AND BLOCK:
 PRESENT ZONING: M-1
 ORIGINAL OWNER: James B. Hawkins
 ORIGINAL USE: Rental Property (Residence)
 PRESENT USE: Rental Property (Residence)
 PRESENT OWNER: H-P Partnership
 ADDRESS: P. O. Box 6451
 Charlottesville, Virginia 22902

HISTORIC NAME: Hawkins-Parker House
 DATE / PERIOD:
 STYLE: Vernacular
 HEIGHT (to cornice) OR STORIES: 2 storeys
 DIMENSIONS AND LAND AREA: 76.5' x 120' (9180 sq. ft.)
 CONDITION: Fair
 SURVEYOR: Bibb
 DATE OF SURVEY: Spring 1984
 SOURCES: City/County Records City Directories
 1877 Gray Map
 Sanborn Map Co. - 1896, 1907, 1920

ARCHITECTURAL DESCRIPTION

This worker's cottage and the one next door, the survivors of a group of three, are early examples of a form very common in the city at the turn of the century. Nearly all others, however, were of frame construction. This cottage is two storeys tall, single pile, and two bays wide at the first level and one at the second, with a one-storey wing on the south side. It is set on a high foundation of brick laid in 7-course American bond. Wall construction is of brick laid in 8-course American with Flemish Bond on the facade and 7 & 9 course American Bond on the other sides and the wing. The main block has a medium-pitched gable roof with projecting eaves and verges, while the side wing has a high pitched gable roof. Both have boxed cornices, and composition shingles have replaced the original standing-seam metal. There is an interior end chimney with a small cap at the south end of the main block. Windows throughout the house are double-sash, 6-over-6 light, with wooden sills and plain surrounds. They are the same height at both levels. A one-storey porch covers the facade of the main block. It has a steep shed roof covered with standing-seam metal, with exposed rafter ends, no frieze, plain square piers, and horizontal railing. The entrance door in the north bay of the facade has a 2-light rectangular transom. The side wing is lower ceilinged than the main block. On the facade, gable roof extends down over a veranda which has been enclosed with weather-boarding.

HISTORICAL DESCRIPTION

James B. Hawkins purchased a section of the Delevan Hotel property in 1869 (ACDB 64-170). According to tax records, he built three brick houses there between 1876 and 1889. In 1895, he deeded this house to his son James W. Hawkins (City DB 6-412), who sold it two years later to Helen L. Morris (DB 8-334). Whit H. Parker contracted to buy the house in 1902 and received his deed in 1908 (DB 19-335). His family occupied the house for 77 years (City WB 4-185, 22-576). James M. Gregg and Diana P. Dale bought it in 1979 after the death of Parker's stepson Reuben Murray (City DB 406-524), and sold it the next year to H_P Partnership (DB 412-299).

29-74✓

76.5 x 120
M-1

#505

208 7th St SW

| | | | | |
|-----------------|--|-----------|------|---------------|
| 412-299 | H-P Partnerships | P.O. 6451 | 1980 | plat 406-5-26 |
| 406-524 | James M. Begg & Diana P. Dale | Begg | 1979 | " |
| WB 22-576 | Creola W. Smith | | 1979 | |
| | Reuben Murray (life est.) | | 1975 | (her son)* |
| | Virginia Parker | | 1969 | |
| " | " | Brooks | 1958 | (mar.) |
| ? AEDB 146-416? | " | " | 1936 | |

With H. Parker
J. D. Morris

2.5, $\frac{1}{2}$ base, 1-fam, 5 rooms
brick found. & walk, metal gable roof
0 fireplace
"old", cheap constr
1979 - rehab

4 room & bath cottage (bath added 1965) added 1958

* grand-
to nephew, Krailand Smith, after son's death

76.5
x 120

9180
15300

24480

Sanborn—

in present form by 1896, even enclosed porch

466-524 Crealon W & Emily A Smith → James M Gregg & Diana F. Dale
 10/1/1979 of 208 7th SW #2,500

208 7th St SW

same as 19-335, 7/30/1908, Helen L & J. D. Morris → Whit H Parker
 Whit H. Parker dec 1936 (WB 4-185), leaving property to wife
 Va. Parker who m. Addison Brooks 1948. Brooks dec. before
 wife & she resumed Parker name. She dec 1978 (WB 22-576)
 & left life estate to Reuben Murray, her son by a
 previous marriage, to go to great nephew Crealon W. Smith
 after his death. Reuben Murray dec. 1979

19-335 Helen L & J. D. Morris → W H Parker #700
 7/3/1908 lot 77' on E side 7th SW x 120'
 contract 11/21/1902
 same as 8-334, 10/2/1897, for Chas B. Stevens, Tr
 & 9-10, 3/30/1908, for Va Deco (exchange strips)

8-334 Chas B Stevens & C Wallen, under 1895 deed of trust for J. W.
 12/2/1897 Hawkins (unmarried) (6-460) → Mrs Helen L. Morris #662
 3rd lot on E side 7th ^{with} after C & O RR
 65' x 130'
~~part of~~
 same as
 part of 11/2/1895, James B Hawkins → J W Hawkins
 3/20/1867, F B Cobell → James B Hawkins

6-412 James B & Mary A Hawkins → James W. Hawkins (their son)
 11/27/1895 3rd lot
 part of ACDB 64-170

ALDB Philip B & Julia C B ~~Call~~ Cabell - James B. Hawkins #530
64-170 tract on Va Central RR near Ch'o
3/30/1869 Lot 16 on plat of Delevan Property
188' on RR x 240' ~~back 5 to Cabell St~~ along DelevanSt
to Cabell St

Meadowbrook
Geo. Davis

found,

(3-9814
6045 Dine SR

208 7th SW

2-5, 2-bay (at 1st, 1st 2nd), single pile
w/ 1-5 5 wing

low found., basement above ground rear

8-c dm-w/ Flem facade, 7 & 9-c dm sides

med. gable roof, proj eaves, ~~exposed rafter ends~~
comp. shingles, boxed cornice

1 int end chim (5) w/ cap

windows 6/6 w/ plain trim, ^{2 wooden sills} 2 ht both levels

1-5 veranda covers facade

steep shed roof, 55m, exposed rafter ends
pl sq ^{sign} posts, horiz railing
0 frieze
wooden floor

ent N bay:

2 l - rect transom

obviously side hall plan, ^{1st fl^r} stair rises bet. walls

1-5 & base, south wing

steep gable roof, comp. shingles; board ^{ceiling} roof cont over veranda, now incl w/ weatherboarding
& matching window of arch trim (moved?)

lower ceiling than main block

brick found. & walls

7-8th am walls & found.



**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0086

Resource Identification

Property Name(s): Hawkins-Lee House {Historic}
House, 204 7th Street SW {Function/Location}
Property Date: ca 1880
Address(s): 204 7th Street SW {Current}
County/Independent City: Charlottesville
City:
State, Zip: Virginia 22902
USGS Quad Name: CHARLOTTESVILLE EAST
Surrounding area: City

National Register Eligibility Status

Property is Historic (50 years or older)

This Property is associated with the Fifeville-Castle Hill
Historic District [district]

Resource Description

Ownership Status: Private
Acreage: 0.5

Primary Resource Exterior Component Description:

| <u>Component</u> | <u>Comp Type/Form</u> | <u>Material</u> | <u>Material Treatment</u> |
|-------------------|-----------------------------|-----------------|-------------------------------------|
| Chimneys | Chimneys - None | | |
| Foundation | Foundation - Split-level | Brick | Foundation - American Bond |
| Porch | Porch - 1-story, 2-bay | Wood | Porch - Post, Square |
| Roof | Roof - Gable | Metal | Roof - Standing Seam |
| Structural System | Structural System - Masonry | Brick | Structural System - Irregular Flemi |
| Windows | Windows - Double-hung | Wood | Windows - 6/6 |
| Structural System | Structural System - Masonry | Brick | Structural System - American Bond |

Site Description: July 2006:
Located within the Fifeville-Castle Hill Historic District, this building lies on the east side of 7th Street, just south of its junction with the railroad tracks. The sloped site allows for an entrance at street level with a full-height basement and walk out in the rear. Mature trees are located in the rear yard which is accessed by a gravel driveway along the south side of the building. Concrete sidewalks extend along the street, parallel to the house. With little setback from the road, the building is surrounded by others of a similar scale along this street, although there has been some new construction across the street.

Secondary Resource Desc: July 2006:
None

WUZIT Count:

| <u>No.</u> | <u>Wuzit Types</u> | <u>Historic?</u> |
|------------|--------------------|------------------|
| 1 | Single Dwelling | Contributing |

NR Resource Count:

| <u>#</u> | <u>NR Resource Type</u> | <u>Contributing Status</u> |
|----------|-------------------------|----------------------------|
| 1 | Building | Contributing |

Contributing: 1.00 Total: 1.00

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0086

Individual Resource Information

WUZIT: Single Dwelling

Est. Date of Construction: 1880 ca {Map/Site Visit}

Accessed?

Primary Resource? Yes

Number of Stories: 2.0

Architectural Style: Other

Condition:

Interior Plan Type:

Threats to Resource: None Known

Description: July 2006:

This 2-story, 2-bay, side-passage-plan, gable-roofed brick building is laid in a 7-course American-with-Flemish bond on the facade and 7-course American bond on the sides and rear. The building is two bays wide on the first floor and one-bay wide at the second, with the window opening on the second floor lining up with the window on the first floor. The gabled roof is clad in standing-seam metal with no visible chimney, and the double-hung wood windows have 6/6-sash. Constructed ca. 1880, the house features a single transom over the door, overhanging eaves with a boxed cornice, a 2-bay porch with square posts, and a split-level brick foundation with basement entry on south side that is sheltered by a shed-roofed hood. A very tall, 2-story, rear brick wing on a full basement extends to the rear and has a side lean-to frame wing. The house is nearly identical to the one next door at 208 7th Street (104-213-0087).

Cemetery Information

Bridge Information

Historic Context(s): Domestic

Historic Time Period(s):..... P- Reconstruction and Growth (1865 to 1914)

Significance Statement: July 2006:

This late-19th-century, 2-story, 2-bay, brick dwelling is almost identical to its neighbor (104-213-0087). This form (2 bays on the first floor, 1 bay on the second) is one found throughout the Fifeville-Castle Hill Historic District. Examples of this form are found along Grove, King, Spring, 7th and 7 ½ streets, although this is only one of two examples built of brick. Variations of this form have a front or side gable roof and the second-story window is sometimes centered. This house is also one of 18 brick buildings within the Fifeville-Castle Hill Historic District and is an Individually Protected historic property within the City of Charlottesville. According to research conducted by Eugenia Bibb in the spring of 1984, "James B. Hawkins purchased a section of the Delevan Hotel property in 1869 (ACDB 64-170). According to tax records, he built three brick houses there between 1876 and 1889. He sold the northern two houses to Annie E. Chisholm in 1899 (City DB 10-123). The property was sold twice more before Edmond Lee purchased this cottage, the center one of the group of three, in 1902 (DB 12-133; 13-20; 13-295). The Lee family owned and occupied the house for many years until the children of Edmond Lee sold it in 1955 to J. L. Hartman (DB 189-416), who sold it the next year to Frank B. Johnson (DB 189-450). After his death, Alice Walker bought the shares of the other heirs and obtained full ownership in 1966 (WB 9-238; DB 273-275)."

This is a contributing resource in the district. According to the 1895 City Directory, Miss F. E. Lumsden, no occupation given, lived here at that time. The 1898 City Directory indicates the house was occupied by Mrs. I. O. Ward; no occupation is given. According to the 1910 Census, Edmond Lee was classified as a mulatto and lived here with his wife, father, and six children. His occupation is listed as "railroad." One of his sons worked at the brickyard and another on the railroad. The Lee family owned the property until the mid-1950s.

Bibliographic Documentation

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0086

Reference #: 1

Bibliographic RecordType: Deed

Author:

Citation Abbreviation:

Notes:

Reference #: 2

Bibliographic RecordType: Map

Author:

Citation Abbreviation:

Notes: Sanborn Insurance Map 1891
Grey's Map of Charlottesville, 1877

Reference #: 3

Bibliographic RecordType: Census

Author:

Citation Abbreviation:

Notes:

Reference #: 4

Bibliographic RecordType: Local Records

Author:

Citation Abbreviation:

Notes:

Ownership Information

Graphic Media Documentation

| <i>Medium</i> | <i>Depository ID #</i> | <i>Photo Depository</i> | <i>Date</i> | <i>File Name</i> |
|---------------|------------------------|-------------------------|-------------|------------------|
| 35 MM B&W | 23021 | VDHR | 2006/07/99 | M. Kalbian |

National Register Eligibility Information

Cultural Resource Management (CRM) Events

CRM Event # 1,

Cultural Resource Management Event: Reconnaissance: Cost-Share

Date: 2006/07/99

Organization or Person: Maral Kalbian

CRM Event Notes or Comments: Survey conducted in connection with preparation of a National Register nomination for the Fifeville-Castle Hill Historic District for the City of Charlottesville

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0087

Resource Identification

Property Name(s): Hawkins-Parker House {Historic}
House, 208 7th Street SW {Function/Location}
Property Date: ca 1880
Address(s): 208 7th Street SW {Current}
County/Independent City: Charlottesville
City:
State, Zip: Virginia 22902
USGS Quad Name: CHARLOTTESVILLE EAST
Surrounding area: City

National Register Eligibility Status

Property is Historic (50 years or older)

This Property is associated with the Fifeville-Castle Hill
Historic District [district]

Resource Description

Ownership Status: Private
Acreage: 0.5

Primary Resource Exterior Component Description:

| <u>Component</u> | <u>Comp Type/Form</u> | <u>Material</u> | <u>Material Treatment</u> |
|-------------------|-----------------------------|-----------------|-------------------------------------|
| Chimneys | Chimneys - Interior end | Brick | Chimneys - Corbeled Cap |
| Foundation | Foundation - Solid | Brick | Foundation - American Bond |
| Porch | Porch - 1-story, 3-bay | Wood | Porch - Post, Square |
| Roof | Roof - Gable | Metal | Roof - Standing Seam |
| Structural System | Structural System - Masonry | Brick | Structural System - American Bond |
| Structural System | Structural System - Masonry | Brick | Structural System - Irregular Flemi |
| Windows | Windows - Double-hung | Wood | Windows - 6/6 |

Site Description: July 2006:

Located within the Fifeville-Castle Hill Historic District, this building lies on the east side of 7th Street, just south of its junction with the railroad tracks. The sloped site allows for an entrance at street level with a full-height basement and walk out in the rear. Mature trees are located in the rear yard which is accessed by a gravel driveway along the south side of the building. A picket fence extends along the front yard and a wooden gate with concrete walk leads to the front porch. A gravel driveway along the south side leads to the outbuilding. Concrete sidewalks extend along the street, parallel to the house. With little setback from the road, the building is surrounded by others of a similar scale along this street, although there has been some new construction across the street.

Secondary Resource Desc: July 2006:
Large shed located in rear yard.

WUZIT Count:

| <u>No.</u> | <u>Wuzit Types</u> | <u>Historic?</u> |
|------------|--------------------|------------------|
| 1 | Single Dwelling | Contributing |
| 1 | Shed | Contributing |

NR Resource Count:

| <u>#</u> | <u>NR Resource Type</u> | <u>Contributing Status</u> |
|----------|-------------------------|----------------------------|
| 2 | Building | Contributing |

Contributing: 2.00 Total: 2.00

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0087

Individual Resource Information

WUZIT: Shed

Est. Date of Construction: 1945 ca

Accessed?

Primary Resource? No

Number of Stories: 0.0

Interior Plan Type:

Threats to Resource:

Description: July 2006:

This fairly large 1-story, shed-roofed shed is clad in T-111. According to local historian Ann Carter, these were originally cottages that were rented out by Mr. Reuben Murray, stepson of Whit Parker (owner of the house) in the 1940s. They have now been converted into a shed.

WUZIT: Single Dwelling

Est. Date of Construction: 1880 ca {Map/Site Visit}

Accessed?

Primary Resource? Yes

Number of Stories: 2.0

Architectural Style: Other

Condition:

Interior Plan Type:

Threats to Resource: None Known

Description: July 2006:

This 2-story, 2-bay, side-passage-plan, gable-roofed brick building is laid in a 7-course American-with-Flemish bond on the front and 7-course American bond on the sides and rear. The building is two bays wide on the first floor and one bay wide at the second, with the window opening on the second floor lining up with the window on the first floor. The gabled roof is clad in standing-seam metal with an interior-end brick chimney, and the double-hung wood windows have 6/6-sash. Constructed ca. 1880, the house features a single transom over the door, overhanging eaves with a boxed cornice, and a split-level brick foundation. The 3-bay, full-width, shed-roofed front porch has square posts and a 3-rail balustrade. A one-story, gable-roofed brick wing extends to the south. The one-bay wing has an integral front porch that has been enclosed with weatherboarding. The house is nearly identical to the house located at 204 7th Street (104-213-0086), although this one has a side brick wing and an interior brick chimney.

Cemetery Information

Bridge Information

Historic Context(s): Domestic

Historic Time Period(s):..... P- Reconstruction and Growth (1865 to 1914)

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0087

Significance Statement: July 2006:
This late-19th-century, 2-story, 2-bay, brick dwelling is almost identical to its neighbor (104-213-0087). This form (2 bays on the first floor, 1 bay on the second) is one found throughout the Fifeville-Castle Hill Historic District. Examples of this form are found along Grove, King, Spring, 7th and 7 ½ streets, although this is only one of two examples constructed of brick. Variations of this form have a front or side gable roof and the second-story window is sometime centered. This house is also one of 18 brick buildings within the Fifeville-Castle Hill Historic District and is an Individually Protected historic property within the City of Charlottesville. According to research conducted by Eugenia Bibb in the spring of 1984, "James B. Hawkins purchased a section of the Delevan Hotel property in 1869 (ACDB 64-170). According to tax records, he built three brick houses there between 1876 and 1889. In 1895, he deeded this house to his son James W. Hawkins (City DB 6-412), who sold it to years later to Helen L. Morris (DB 8-334). Whit H. Parker contracted to buy the house in 1902 and received his deed in 1908 (DB 19-335). His family occupied the house for 77 years (City WB 4-185, 22-576). James M. Gregg and Diana P. Dale bough it in 1979 after the death of Parker's stepson Reuben Murray (City DB 406-524), and sold it the next year to H P Partnership (DB 412-229)."

This is a contributing resource in the district. According to the 1910 Census, Whit H. Parker, classified as a mulatto, lived here and worked as a laborer at the brickyard.

Bibliographic Documentation

Reference #: 1

Bibliographic RecordType: Deed

Author:

Citation Abbreviation:

Notes:

Reference #: 2

Bibliographic RecordType: Map

Author:

Citation Abbreviation:

Notes: Sanborn Insurance Map 1891
Gray's Map of Charlottesville 1877

Reference #: 3

Bibliographic RecordType: Census

Author:

Citation Abbreviation:

Notes:

Reference #: 4

Bibliographic RecordType: Local Records

Author:

Citation Abbreviation:

Notes:

Ownership Information

Graphic Media Documentation

| <i>Medium</i> | <i>Depository ID #</i> | <i>Photo Depository</i> | <i>Date</i> | <i>File Name</i> |
|---------------|------------------------|-------------------------|-------------|------------------|
| 35 MM B&W | 23021 | VDHR | 2006/07/99 | M. Kalbian |

**Department of Historic Resources
Reconnaissance Level Survey**

Charlottesville

DHR Id#: 104-0213-0087

National Register Eligibility Information

Cultural Resource Management (CRM) Events

| | |
|---|---|
| CRM Event # 1, | |
| Cultural Resource Management Event: | Reconnaissance: Cost-Share |
| Date: | 2006/07/99 |
| Organization or Person: | Maral Kalbian |
| CRM Event Notes or Comments: | Survey conducted in connection with preparation of a National Register nomination for the Fifeville-Castle Hill Historic District for the City of Charlottesville |

THE MARK AT CHARLOTTESVILLE
202 7TH STREET SW
CHARLOTTESVILLE, VA
BAR PRE-APPLICATION CONFERENCE

MITCHELL MATTHEWS ARCHITECTS
June 17, 2025

**PROGRESS
DRAFT**

Introduction

Our client, LCD Acquisitions, LLC is seeking to build new student housing, in full compliance with the City's new Development Code, on three contiguous parcels, 202, 204 and 208 7th Street SW. These parcels do not fall within any of Charlottesville's Architectural Design Control Districts, however the two smaller parcels, 204 and 208 7th. Street SW, are listed as Individually Protected Properties (IPPs). It is our intention to retain and maintain these houses as part of the overall design of the project.

This project is less than half a mile from the University of Virginia. The current design proposal calls for approximately 157 apartments with a mix of 1, 2, 3, 4 and 5-bedroom units, spread over seven levels with a range of study spaces and amenities. Outdoor features include an elevated pool, related exterior amenities and landscaped areas. Parking for approximately 257 vehicles is provided via an internal five level parking garage.

The purpose of this submission is to request BAR's permission on two issues:

- 1. To remove non-contributing additions to IPPs**
- 2. To allow construction behind existing houses on both IPPs**

**PROGRESS
DRAFT**



Tuesday, May 27, 2025

All grades, counts, and quantities are approximate and will change as the design proceeds

Tel : 434-979-7550

© #####

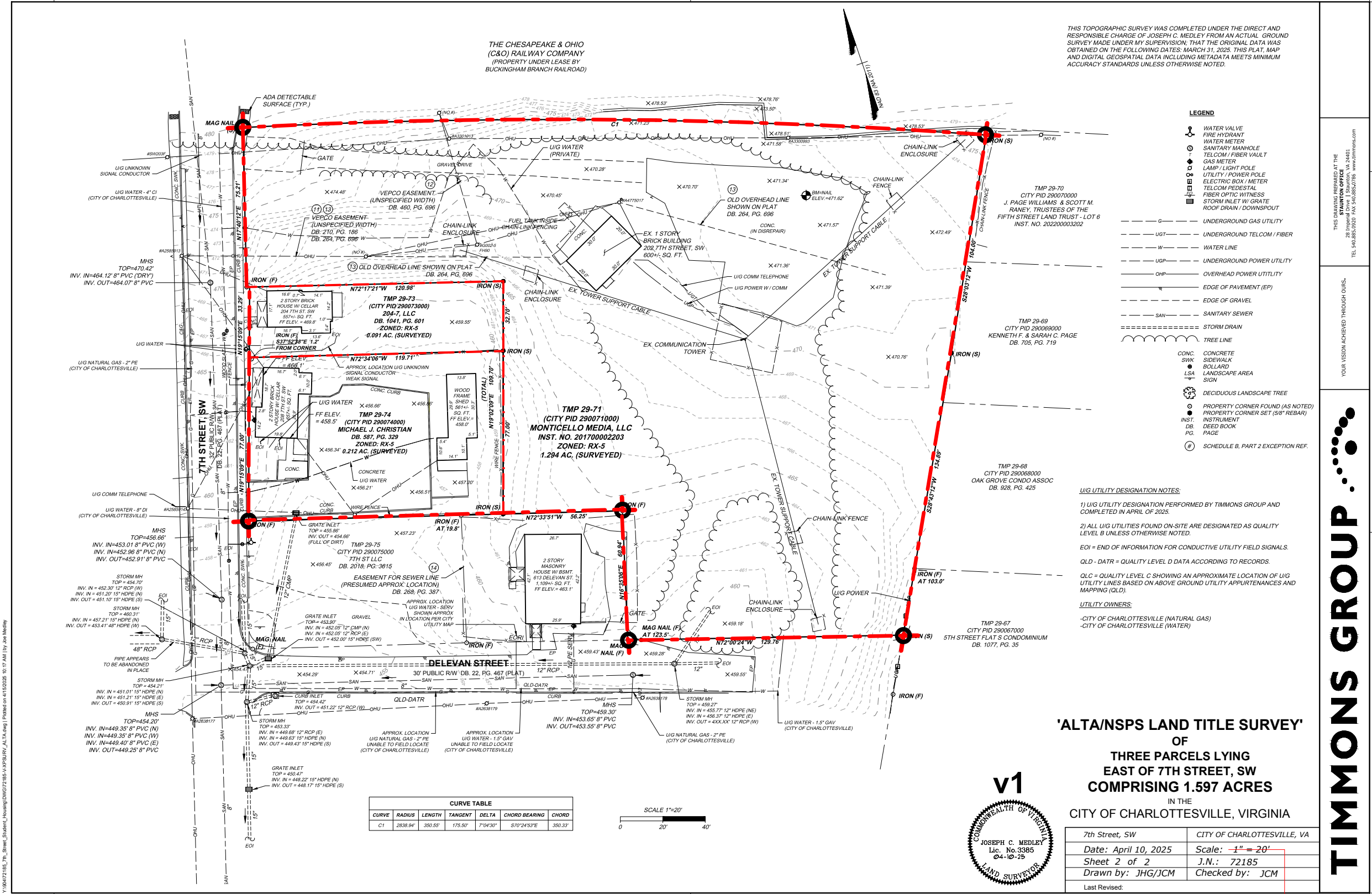
SK-03

SURVEY

All grades, counts, and quantities are approximate and will change as the design proceeds

© ####

PROGRESS
DRAFT
SK-04



Site History

202 7th Street SW was once part of a larger tract of land owned by the Delevan Hotel, now Delevan Baptist Church. In 1869, James B. Hawkins purchased a portion of the tract, which included 204 and 208 7th Street SW, as well as a corner of what is now 202, where a third brick building of this style used to stand. Over the years, 202 hosted a variety of businesses, including the Virginia Ice Co. around 1896 and, later, the Charlottesville & Albemarle Railway Company, which operated a power and ice plant on the site. The property was eventually sold to Charlottesville Broadcasting Corporation in 1984 and developed into its present form.

204 and 208 7th Street SW are two Individually Protected Properties (IPPs). They are workers' cottages constructed in the late 19th century. These buildings exemplify a type of construction that was once common in Charlottesville during that period. However, the cottages on these sites are particularly notable for their use of load-bearing brick walls laid in an American-with-Flemish bond pattern – a unique departure from the more typical wood-framed structures of the time. Since their designation as IPPs, the more modern additions to the buildings' exteriors have fallen into disrepair and are covering the brickwork that contributes significantly to their historical value.

**PROGRESS
DRAFT**



204 7th Street S.W.

208 7th Street S.W.

THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA

Tuesday, May 27, 2025

204 & 208 7th STREET S.W. : IPP's

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS

Tel : 434-979-7550

© ####

PROGRESS
DRAFT
SK-05



Shed of 208 7 St.



Lean -To of 208 7 St.



Side Wall of 204 7 St.



Shed of 208 7 St.



Rear Wall of 208 7 St.



Rear Wall of 204 7 St.



Shed of 208 7 St.



Side of 204 7 St.



Rear Wall of 204 7 St.

EXISTING CONDITIONS

All grades, counts, and quantities are approximate and will change as the design proceeds

BAR Request 1

We request approval to remove a number of deteriorated, non-original additions that were constructed well after the original buildings and do not contribute to the historic character of the properties. These include:

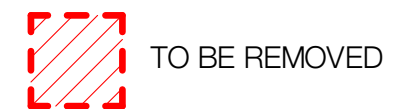
- A **standalone shed** on the property at **208 7th Street SW**,
- A rear **lean-to addition** attached to **208 7th Street SW**,
- A **sheet metal addition** at the rear of **204 7th Street SW**,
- Along with several **minor ancillary additions** that lack architectural distinction.

These elements were not part of the original historic construction and exhibit no historic or architectural significance. Most are in advanced states of disrepair and deterioration, and many obscure or negatively impact the visibility and integrity of the original buildings.

The standalone shed at 208 7th Street SW was constructed after the demolition of an earlier outbuilding, which existed at the time the property was designated as an Individually Protected Property (IPP). The current shed does not demonstrate any historically significant construction techniques or materials and lacks contextual relevance. In addition, the sheet metal addition is not building code compliant.

It is our professional opinion that these later additions have **no redeeming architectural, historical, or community value**. Their removal will **not result in a loss of historic fabric**. This work will bring the site closer to its historic appearance and improve its overall integrity. The elements we are requesting permission to remove are illustrated in accompanying documents on SK-08 and photos 1-9 on SK-09.

**PROGRESS
DRAFT**



**PROGRESS
DRAFT**

SK-08



Shed of 208 7 St.



Awning of 204 7 St.



Bathroom of 204 7 St.

 TO BE REMOVED



Shed of 208 7 St.



Paving behind 208 7 St.



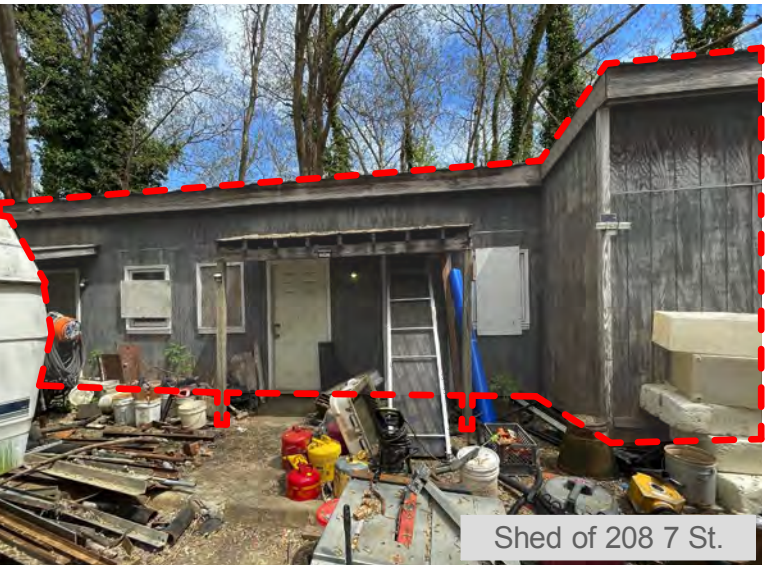
Bathroom of 204 7 St.



Storage of 208 7 St.



Bathroom of 204 7 St.



Shed of 208 7 St.

ELEMENTS TO BE REMOVED

All grades, counts, and quantities are approximate and will change as the design proceeds

BAR Request 2

Our second request is seeking **permission to construct** the proposed project behind the existing IPP houses at 204 & 208 7th Street SW. Both properties are seriously dilapidated, with 204 7th Street SW having remained unoccupied for 23 years. The proposed project will ensure these buildings will be repaired and maintained.

On the following pages we have illustrated a number of similar recent projects that have been supported by the BAR and have been granted the same permission this project is seeking, to construct a new building behind the existing structures.

- | | |
|--------------------|---|
| 1. Blue Moon Diner | 512-514 West Main Street |
| 2. The Doyle Hotel | 499 West Main Street |
| 3. Mel's Café | 719 West Main Street (preliminary review) |

The proposed project will protect these properties from further decay. The proposed design will be of a much different scale, however that scale is consistent with our new Development Code and the need to utilize inner city land efficiently while providing city residents with the ability to live within walking distance of schools and employment.

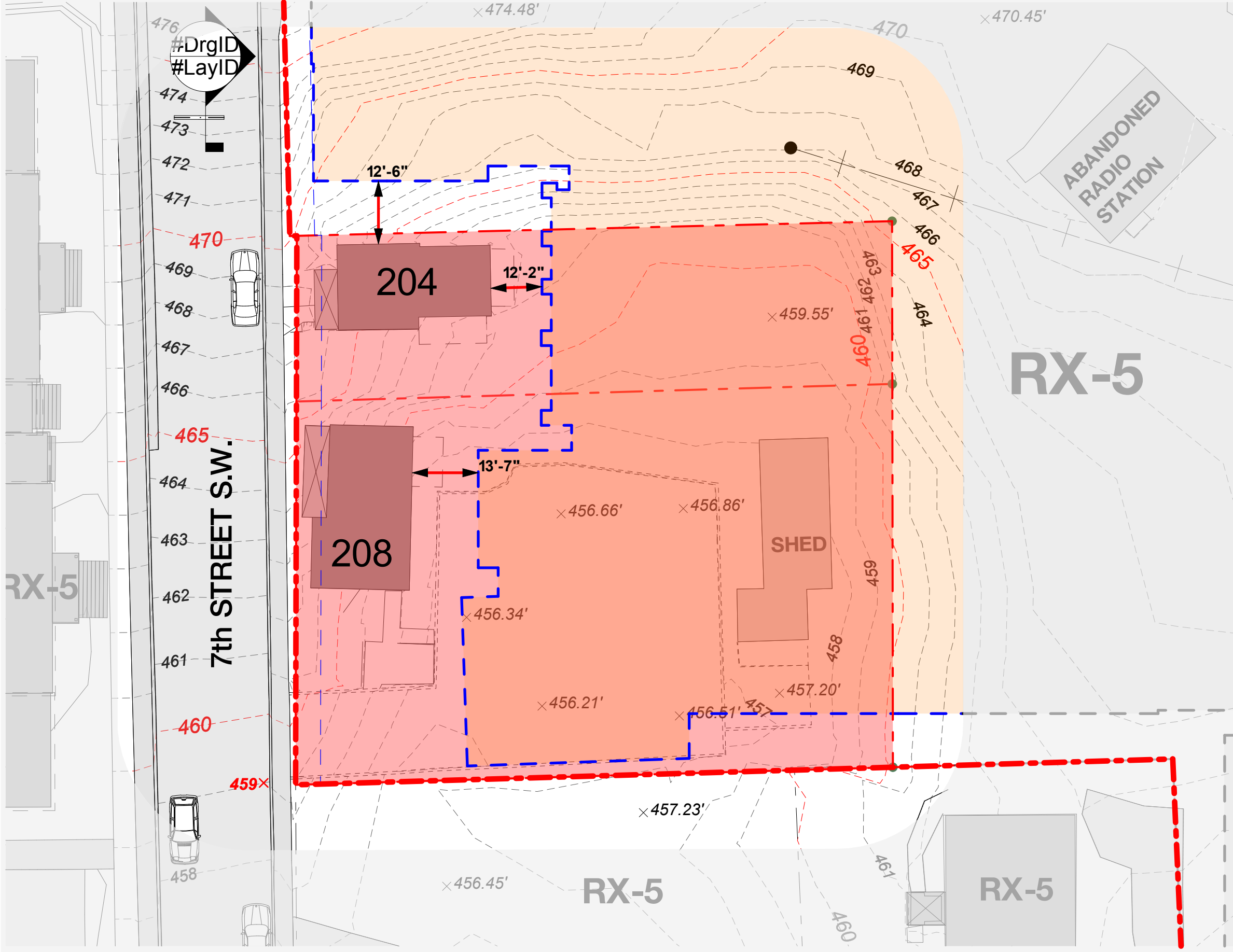
**PROGRESS
DRAFT**

BAR Request 2

The proposed design intends to respond to the existing building, the street and the neighborhood in the following ways:

- Material and detail compatibility: We envision the new structure incorporating similar materials where appropriate. We have chosen high-quality materials (brick, stone, siding) that visually relate in texture and tone to the existing buildings.
- The simple masonry details on the new building will make reference to the masonry details use on the existing buildings.
- The masonry base of the building is intended to respond to the street, neighbors, existing structures. This is the portion of the building visible at a pedestrian level, below the tree canopy, while the upper portion of the building may to be clad in siding similar to the existing surrounding context buildings.
- We are implementing setbacks, step-backs, and varied massing to mitigate the visual bulk of the proposed building.
- At the street level, we anticipate comprehensive reworking of the landscape and hardscape to signify the primary building entry. The main entry will occur between the two existing houses.
- Our intent is to improve street level interaction by activating the ground floors. We hope to:
 - Incorporate uses such as various amenity spaces for the tenants at street level as the building steps down the street by engaging the residents with the site, courtyards and the existing building porches.
 - Enhance transparency and entrances by the inclusion of larger windows and multiple entry points to promote openness and safety while minimizing blank walls.
 - Provide thoughtful and strategic incorporation of street trees and furnishings that integrate landscaping, benches, and lighting that align with the character of the existing structures and the street
 - Utilize, where appropriate, human-scale elements such as awnings, planters, and signage that provide a tactile experience and bridge the scale between the existing and the proposed.

**PROGRESS
DRAFT**

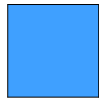
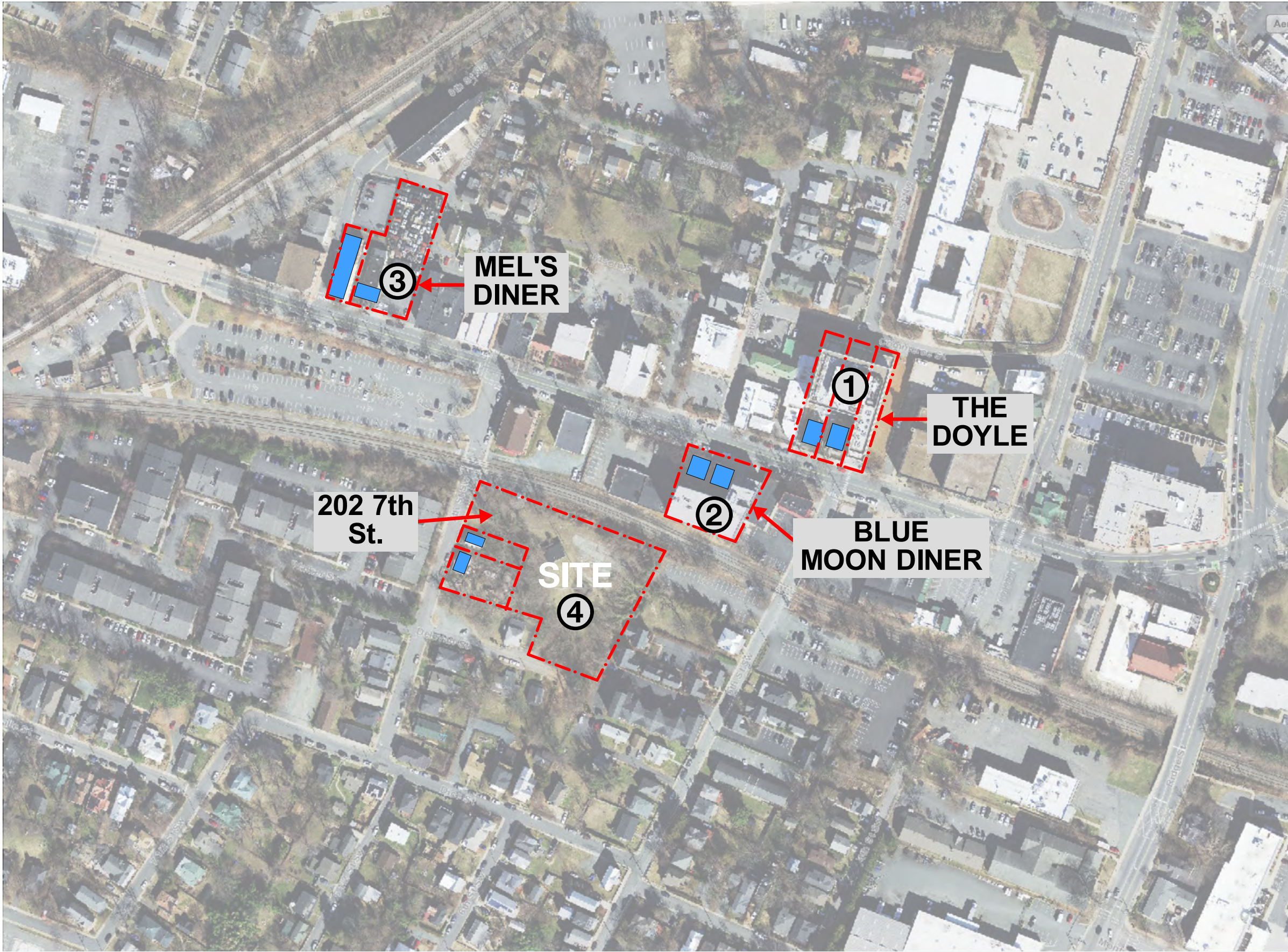


PROPOSED BUILDING FOOTPRINT

IPP

PROPOSED BUIDING FOOTPRINT & BUILDING SEPARATION

All grades, counts, and quantities are approximate and will change as the design proceeds



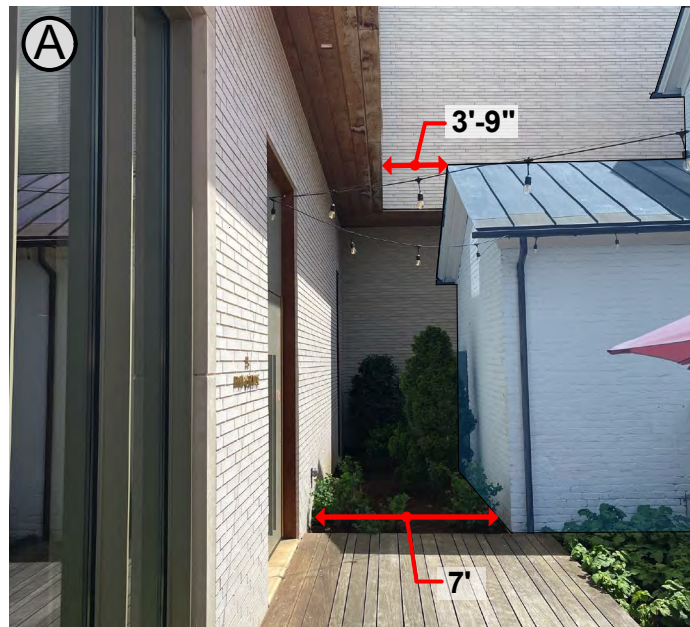
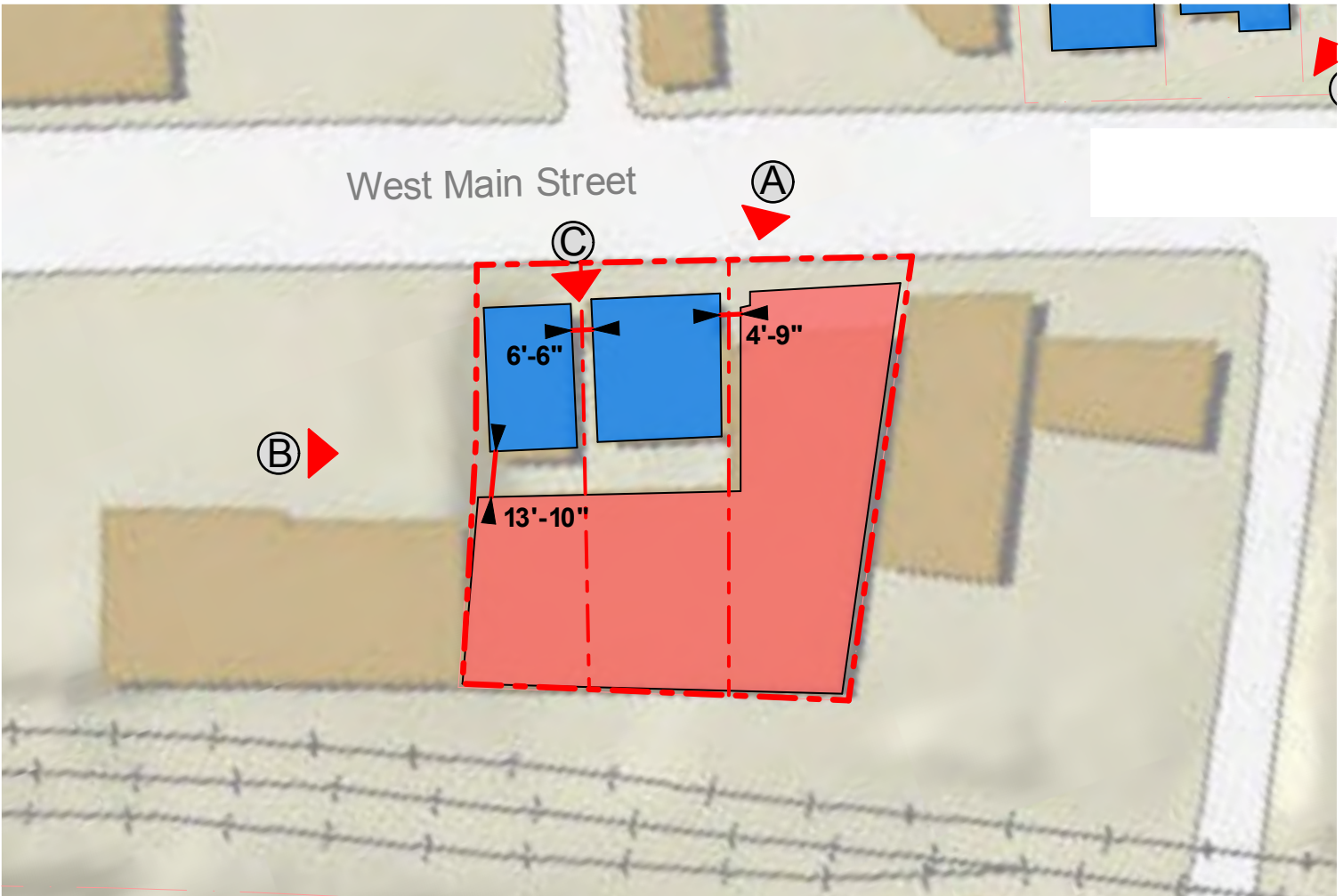
PROTECTED PROPERTIES



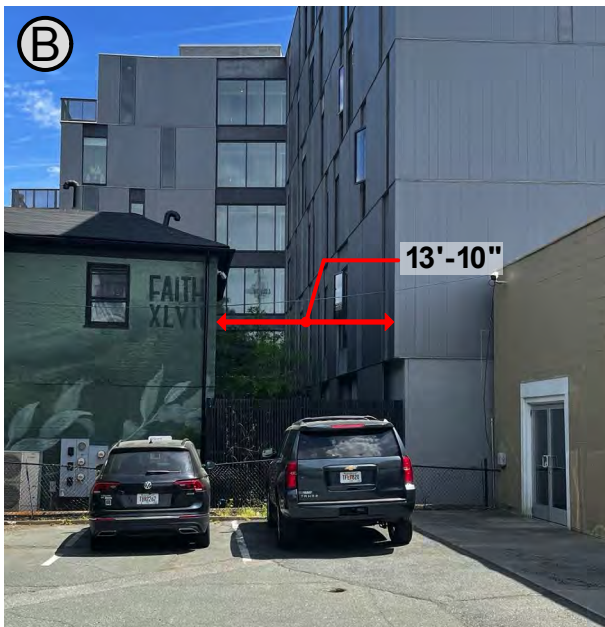
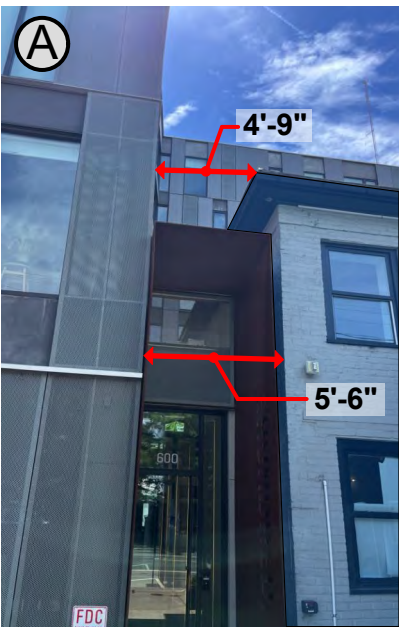
PROPERTY BOUNDARIES

PRECEDENTS

All grades, counts, and quantities are approximate and will change as the design proceeds



1 THE DOYLE
BUILT



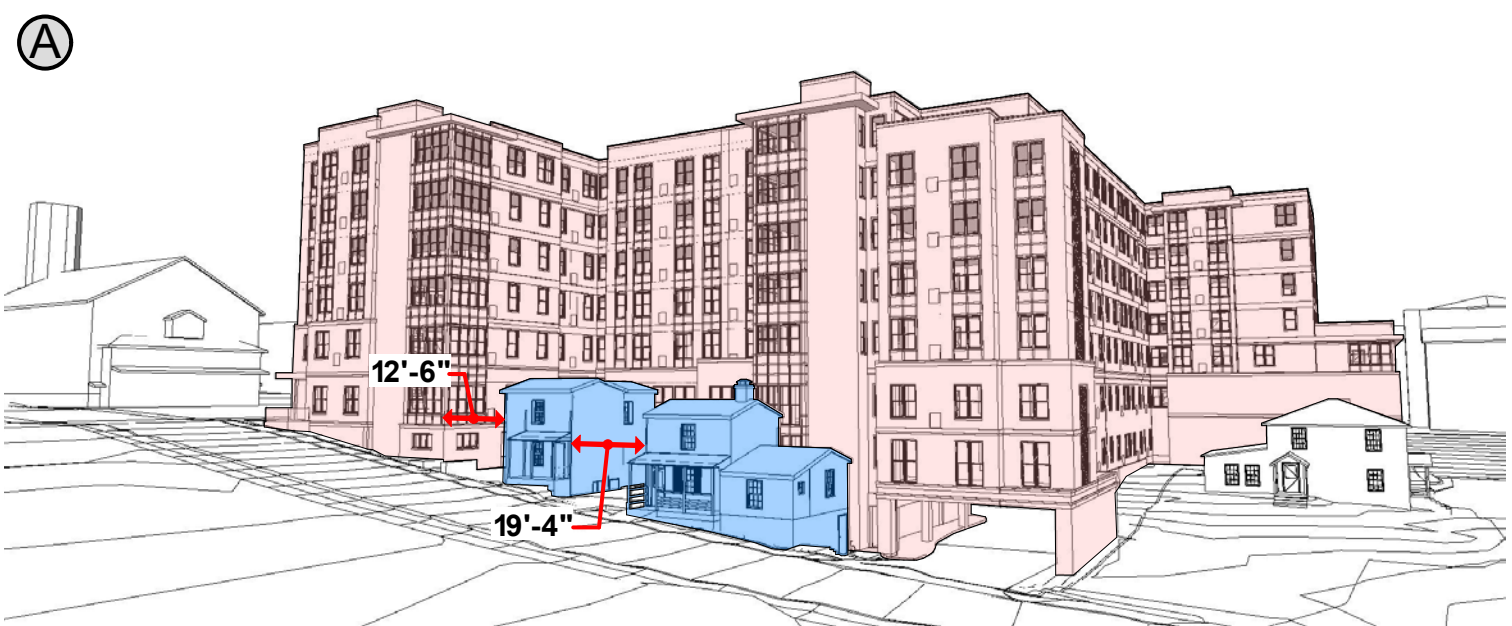
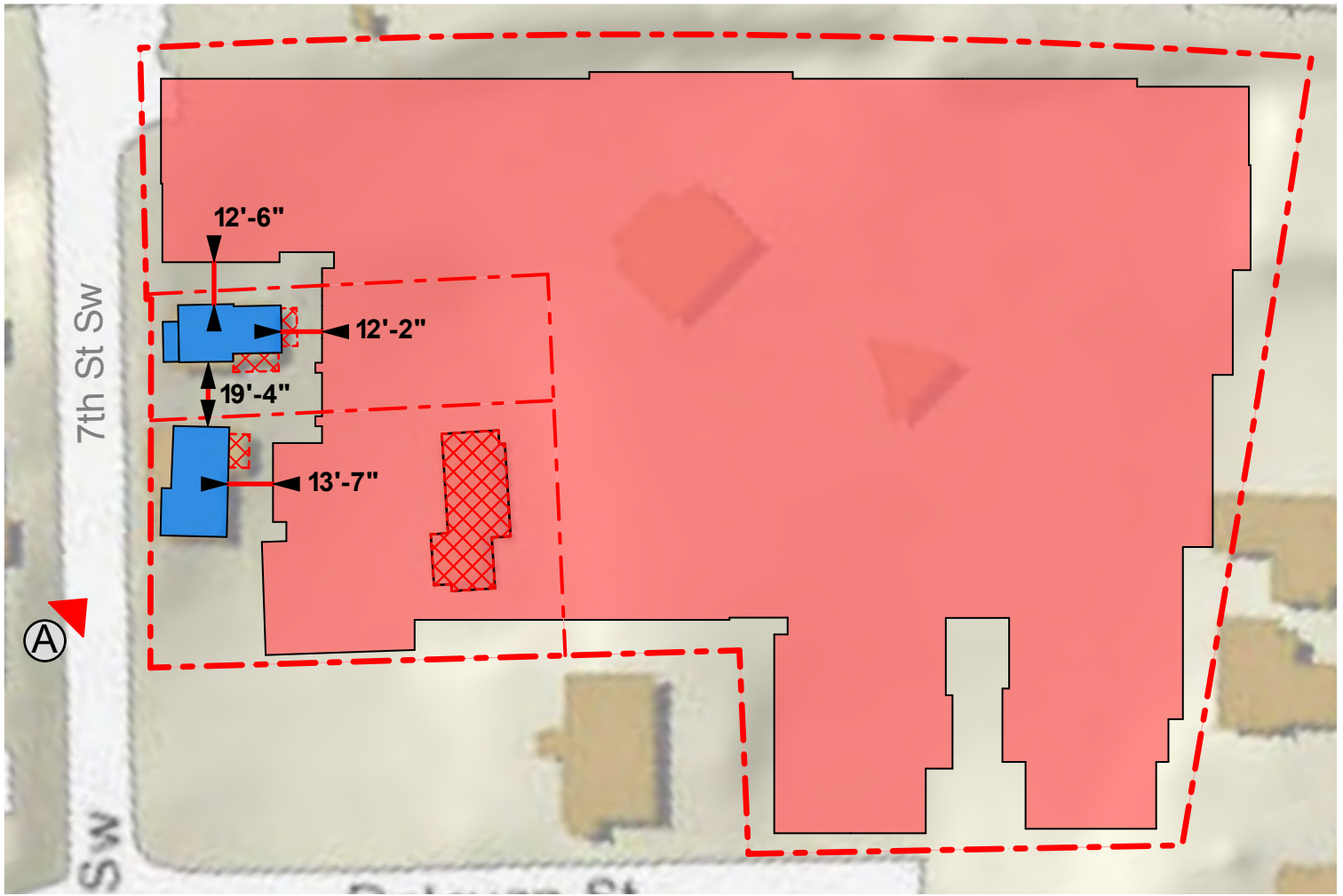
2 BLUE MOON DINER
BUILT



③ MEL'S CAFÉ
REVIEWED



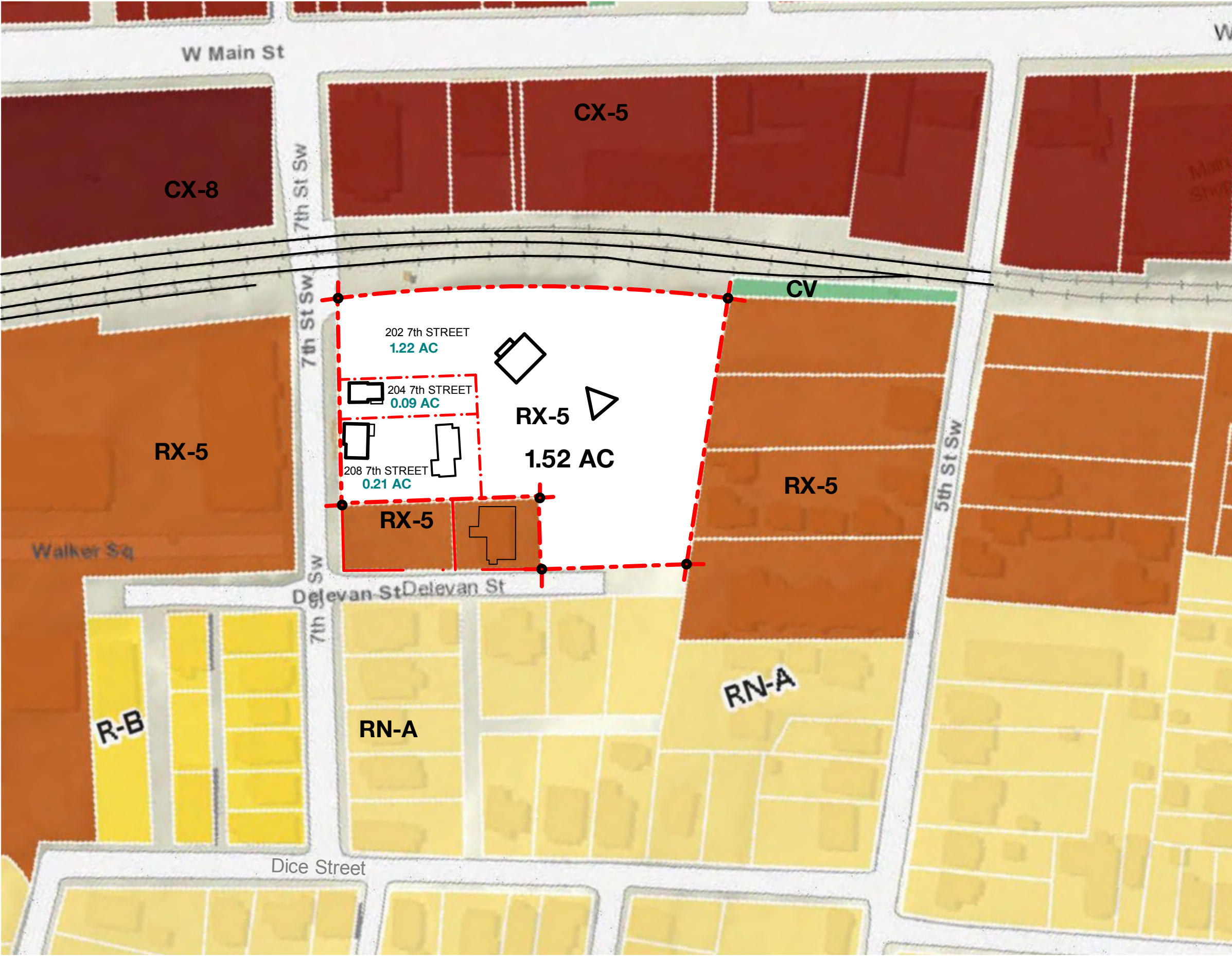
④ 202 7th STREET SOUTHWEST
PROPOSED



④ 202 7th STREET SOUTHWEST
PROPOSED

202 7TH STREET SW

C O N C E P T



| | |
|---|---|
| Location | 202 7th Street SW |
| | 204 7th Street SW- Individually Protected Property |
| | 208 7th Street SW- Individually Protected Property |
| Area | 1.52 Acres |
| Zone | RX-5 |
| Base Height | 5 |
| Total Height <small>With Bonus</small> | 7 |



**PROGRESS
DRAFT**

THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA

Tuesday, May 27, 2025

SITE AERIAL

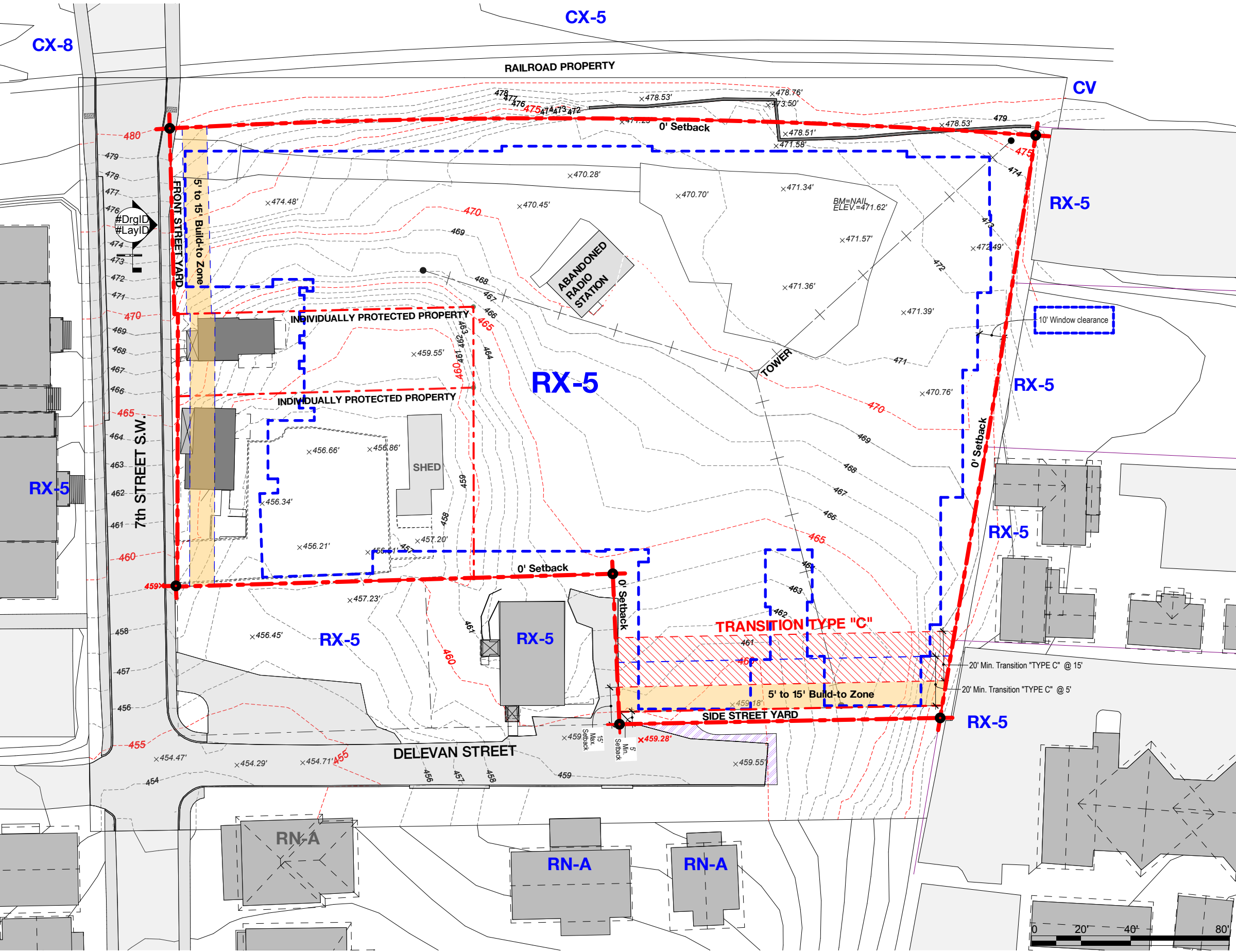
All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS

Tel : 434-979-7550

© ####

SK-16

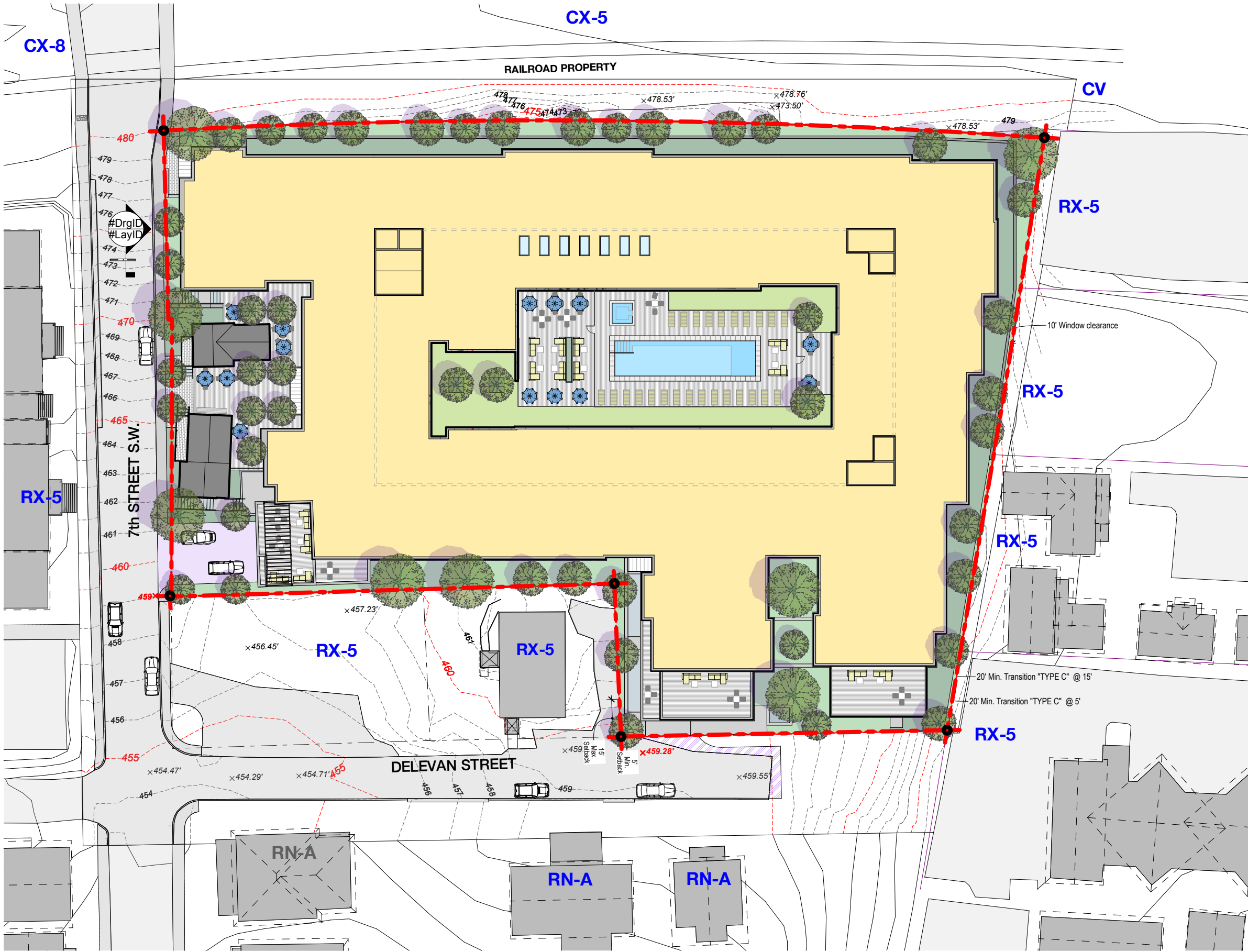


KEY ZONING REQUIREMENTS

- SETBACKS
- TRANSITIONS
- BUILD-TO ZONES

ZONING CONSTRAINTS

All grades, counts, and quantities are approximate and will change as the design proceeds



| | |
|-----------------------------|-------------------|
| Location | 202 7th Street SW |
| Area | 1.52 Acres |
| Zone | RX-5 |
| Height <i>With Bonus</i> | 7 |

THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA
Tuesday, May 27, 2025

SITE PLAN

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS
Tel : 434-979-7550 © ####

PROGRESS
DRAFT
SK-18



THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA
Tuesday, May 27, 2025

PROPOSED BUILDING

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS
Tel : 434-979-7550 © ####

**PROGRESS
DRAFT**
SK-19



THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA
Tuesday, May 27, 2025

VIEW LOOKING AT MAIN ENTRANCE

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS
Tel : 434-979-7550 © ####

PROGRESS
DRAFT
SK-20



THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA

Tuesday, May 27, 2025

VIEW LOOKING UP 7th STREET

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS

Tel : 434-979-7550

© ####

**PROGRESS
DRAFT**
SK-21



THE MARK AT
CHARLOTTESVILLE
Charlottesville, VA

Tuesday, May 27, 2025

VIEW LOOKING DOWN 7th STREET

All grades, counts, and quantities are approximate and will change as the design proceeds

MITCHELL / MATTHEWS
ARCHITECTS & PLANNERS

Tel : 434-979-7550

© ####

**PROGRESS
DRAFT**
SK-22